

975 English Line S,  
Warsaw, ON, K0L 3A0



E101	KEY PLAN, SCHEDULES, AND DETAILS
E201	PARTIAL GROUND FLOOR - DEMOLITION PLANS
E301	PARTIAL GROUND FLOOR - RENOVATION PLANS

NAME OF PROJECT : BARRY BRYAN ASSOCIATES CERTIFICATE OF PRACTICE NUMBER : 5192 250 WATER STREET, SUITE 201 WHITBY, ONTARIO, CANADA L1N 0G5 TEL : (905) - 666 - 5252 (Toronto) (905) - 427 - 4495 FAX : (905) - 696 - 5256 NAME OF PROJECT : WARSAW PUBLIC SCHOOL INTERIOR RENOVATIONS LOCATION OF PROJECT : 975 ENGLISH LINE S. WARSAW, ON, K0L 3A0 DATE : FEB. 2024				OBC Reference
Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building				
11.00	Building Code Version: _____ Last Amendment: _____			
11.01	Project Type: <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use Description: <u>CLASSROOM RENOVATION</u>	[A] 1.1.2.		
11.02	Major Occupancy Classification: <u>Occupancy</u> <u>Use</u> <u>Group A, Div. 2</u> <u>ELEMENTARY SCHOOL</u>	3.1.2.1.(1)		
11.03	Superimposed Major Occupancies: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Description: _____	3.2.2.7		
11.04	Building Area (m <sup>2</sup> ) <u>Description</u> <u>Existing</u> <u>New</u> <u>Total</u> <u>GROUND FLOOR</u> <u>1860</u> <u>N/A</u> <u>1860</u> EXISTING NO CHANGE _____ _____ Total= <u>1860</u> <u>N/A</u> <u>1860</u>	[A] 1.4.1.2.		
11.05	Building Height <u>1 (One)</u> Storeys above grade <u>4.2</u> (m) Above grade <u>0 (zero)</u> Storeys below grade	[A] 1.4.1.2 & 3.2.1.1		
11.06	Number of streets/ fire fighter access: <u>1</u> street(s)	3.2.2.10 & 3.2.5		
11.07	Building Size: <input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1.B.-N.		
11.08	Existing Building Classification: Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: <u>4</u> Hazard Index: <u>6</u> Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	11.2.1 T11.2.1.1A T11.2.1.1B to N. 4.2.1.(3) & 5.2.2.1.(2)		
11.09	Renovation Type: <input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1 & 11.3.3.2		
11.10	Occupant Load: <u>Floor Level/ Area</u> <u>Occupancy Type</u> <u>Based On</u> <u>Occup. Load</u> EXISTING NO CHANGE _____	3.1.17		
11.11	Plumbing Fixture Requirements: Ratio: <u>Male/Female = 50:50</u> Except as noted otherwise <u>Floor level/ Area</u> <u>Occupant</u> <u>OBC</u> <u>Fixtures</u> <u>Fixtures</u> <u>Load</u> <u>Reference Required</u> <u>Provided</u> _____	3.7.4		
11.12	Barrier-free Design: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explanation: _____	11.3.3.2.(2)		
11.13	Reduction in Performance Level: Structural <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5		
11.14	Compensating Construction: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7		
11.15	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1.		
11.16	Notes: <u>Project Description:</u> Interior renovations to classrooms. <div style="border: 1px solid black; padding: 5px; width: fit-content;"> AREA OF WORK/RENOVATION: 365.0m<sup>2</sup>  BUILDING AREA: 1860m<sup>2</sup> </div>	11.5.1		



**DEI Consulting Engineers**  
MECHANICAL | ELECTRICAL | AQUATIC

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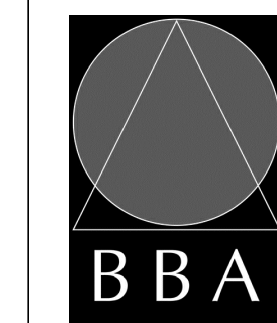
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NO.	REVISIONS	DATE	BY

PROJECT:  
**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON , K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:  
LIST OF DRAWINGS &  
OBC MATRIX



**BARRY BRYAN  
ASSOCIATES**  
Architects  
Engineers  
Project Managers

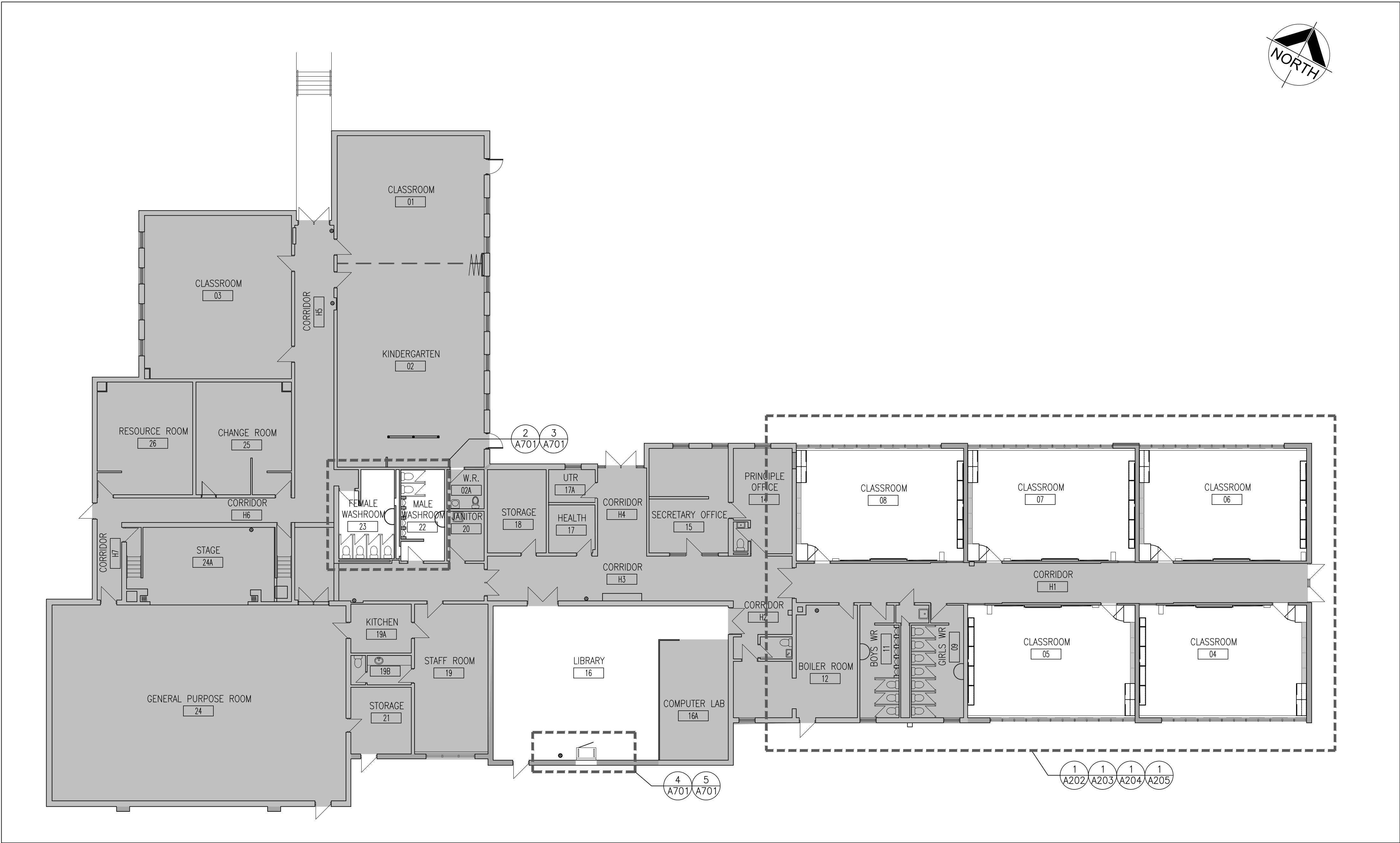
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CHECKED BY:	INITIAL:

DATE:	JAN. 2024
SCALE:	AS NOTED
FILE:	

PROJECT NO: <b>24008</b>	DRAWING NO: <b>A000</b>
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1 OVERALL GROUND FLOOR PLAN  
A201  
1:150

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**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**  
  
975 English Line S, Warsaw, ON , K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:  
**OVERALL FIRST  
FLOOR PLAN**

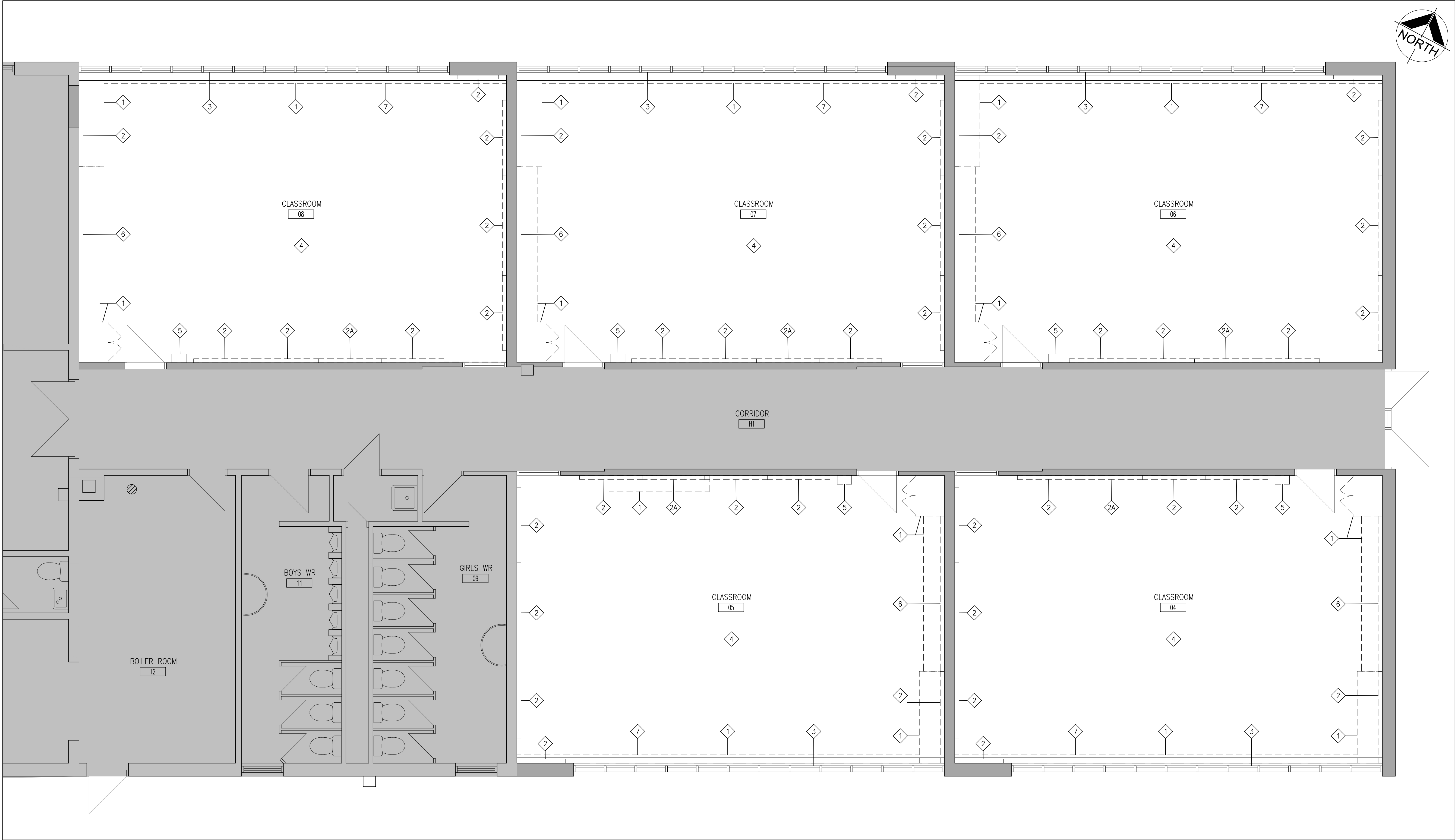


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DRAWING NO:  
**A201**

GENERAL DEMOLITION NOTES					DEMOLITION NOTES	DEMOLITION LEGEND
<div>1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.</div> <div>2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.</div> <div>3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.</div> <div>4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.</div> <div>5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.</div> <div>6. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.</div> <div>7. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.</div>					<div>8. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.</div> <div>10. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.</div> <div>11. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.</div> <div>12. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.</div> <div>13. MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.</div>	
<div>14. REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.</div> <div>15. REMOVE ALL PROTRUSIONS IN FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL.</div> <div>16. CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCORIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.</div> <div>17. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.</div> <div>18. DISPOSE OF MATERIALS OFF SITE.</div> <div>19. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.</div> <div>20. BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.</div>					<div>21. REFER TO THE HAZARDOUS BUILDING MATERIALS ASSESSMENT (PRE-CONSTRUCTION) REPORT DATED MARCH 7, 2023 AND SPECIFICATIONS PREPARED BY PINCHIN LTD. HAZARDOUS REMOVALS SHALL COMPLY WITH CURRENT LEGISLATION.</div> <div>22. DEMOLITION WORK MUST BE COMPLETED WITH THE DESIGNATED SUBSTANCE SURVEY AND ABATEMENT PROCEDURES INCLUDED AS PART OF THE TENDER FOR THIS PROJECT AND IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.</div> <div>23. THE EXISTING FACILITY WILL REMAIN OPERATIONAL FOR THE DURATION OF CONSTRUCTION. ISOLATE THE CONSTRUCTION AREA FROM THE SURROUNDING FACILITY OPERATION WITH DUST TIGHT HOARDING AND TRAPS. THE WALLS MUST BE SOLID AND SECURE SEPARATING THE SPACE FROM THE PUBLIC AND FACILITY STAFF. THE EXISTING MECHANICAL VENTILATION SYSTEMS WITH THE CONSTRUCTION AREA MUST BE COVERED TO ELIMINATE DUST CIRCULATION THROUGH THE FACILITY.</div> <div>24. CONTRACTORS RESPONSIBILITY TO COORDINATE NEW FLOORING REPLACEMENT WITH EXISTING DOOR FRAMES AND TRACKS. CONTRACTOR SHALL INCLUDE IN BASE BID REMOVAL AND REINSTALLATION AS REQUIRED TO COMPLETE THE WORK.</div> <div>25. EXISTING SERVICES/FIBRE OPTIC ETC. TO REMAIN AND WORK AROUND.</div>	
					<div>1 REMOVE AND DISPOSE OF EXISTING MILLWORK (AND FLOOR MOUNTED MILLWORK WHERE APPLICABLE). MAKE GOOD AFFECTED AREA.</div> <div>2 REMOVE AND DISPOSE OF ALL WALL MOUNTED BOARDS, (CHALK BOARDS &amp; TACK BOARDS). MAKE GOOD AFFECTED AREA.</div> <div>2A REMOVE EXISTING SMART BOARD AND ALL ASSOCIATED ELECTRICAL.</div> <div>3 REMOVE AND DISPOSE OF WALL MOUNTED ROLLER SHADES. PREPARE AREA TO RECEIVE NEW ROLLER SHADES.</div> <div>4 REMOVE AND DISPOSE OF EXISTING VCT FLOOR TILE AND RUBBER WALL BASE. PREPARE EXISTING SURFACES TO RECEIVE NEW FLOORING AND BASE AS SCHEDULED.</div> <div>5 REMOVE EXIST. PAPER TOWEL DISPENSER AND REINSTALL AT THE END OF CONSTRUCTION WHERE NOTED IN THE ELEVATIONS.</div> <div>6 REMOVE AND DISPOSE OF EXISTING COAT HOOKS.</div> <div>7 REMOVE EXISTING WALLFIN ELEMENT AND COVERS. PATCH. REPAIR AND MAKE GOOD EXISTING WALL.</div>	<div><div>EXISTING WALL, PARTITION OR COLUMN</div><div>DENOTES DEMOLITION OF BUILDING ELEMENT</div><div>EXISTING DOOR, FRAME AND TRIM TO REMAIN</div><div>EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.</div><div>DENOTES NOT IN CONTRACT</div></div>



1  
A202  
PART FIRST FLOOR DEMOLITION PLAN  
1:50

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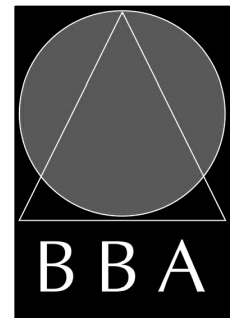
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PROJECT:  
**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON , K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:  
**PART FIRST FLOOR  
DEMOLITION PLAN**



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DATE: JAN. 2024	
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FILE:	

PROJECT NO: <b>24008</b>	DRAWING NO: <b>A202</b>
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GENERAL DEMOLITION NOTES

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.

2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.

4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.

5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.

6. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

7. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.

8. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL, OR CAUSE OTHERS TO FALL.

10. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.

11. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.

12. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.

13. MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.

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17. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.

18. DISPOSE OF MATERIALS OFF SITE.

19. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.

20. BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.

21. REFER TO THE HAZARDOUS BUILDING MATERIALS ASSESSMENT (PRE-CONSTRUCTION) REPORT DATED MARCH 7, 2023 AND SPECIFICATIONS PREPARED BY PINCHIN LTD. HAZARDOUS REMOVALS SHALL COMPLY WITH CURRENT LEGISLATION.

22. DEMOLITION WORK MUST BE COMPLETED WITH THE DESIGNATED SUBSTANCE SURVEY AND ABATEMENT PROCEDURES INCLUDED AS PART OF THE TENDER FOR THIS PROJECT AND IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.

23. THE EXISTING FACILITY WILL REMAIN OPERATIONAL FOR THE DURATION OF CONSTRUCTION. ISOLATE THE CONSTRUCTION AREA FROM THE SURROUNDING FACILITY OPERATION WITH DUST TIGHT HOARDING AND TRAPS. THE WALLS MUST BE SOLID AND SECURE SEPARATING THE SPACE FROM THE PUBLIC AND FACILITY STAFF. THE EXISTING MECHANICAL VENTILATION SYSTEMS WITH THE CONSTRUCTION AREA MUST BE COVERED TO ELIMINATE DUST CIRCULATION THROUGH THE FACILITY.

24. CONTRACTORS RESPONSIBILITY TO COORDINATE NEW FLOORING REPLACEMENT WITH EXISTING DOOR FRAMES AND TRACKS. CONTRACTOR SHALL INCLUDE IN BASE BID REMOVAL AND REINSTALLATION AS REQUIRED TO COMPLETE THE WORK.

25. EXISTING SERVICES/FIBRE OPTIC ETC. TO REMAIN AND WORK AROUND.

DEMOLITION LEGEND

EXISTING WALL, PARTITION OR COLUMN

DENOTES NOT IN CONTRACT

EXISTING LIGHTS TO BE REMOVED AND DISPOSED

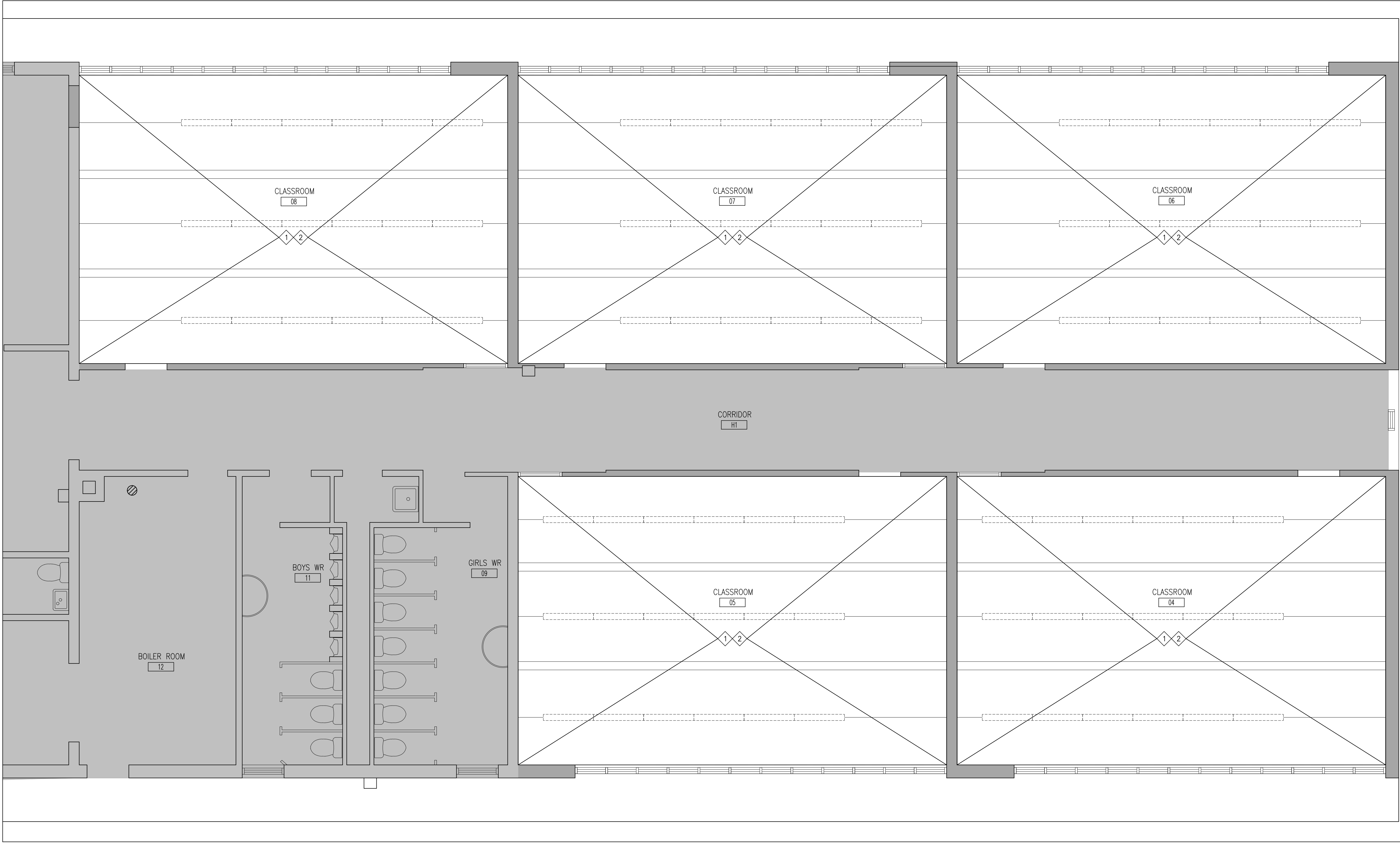
DEMOLITION NOTES

1

REMOVE AND DISPOSE OF ALL LIGHT FIXTURES.

2

REMOVAL OF EXISTING PA AND CONDUIT - REFER TO ELECTRICAL DRAWINGS.



1A203

PART FIRST FLOOR CEILING DEMOLITION PLAN


1:50

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Kawartha Pine Ridge District School Board

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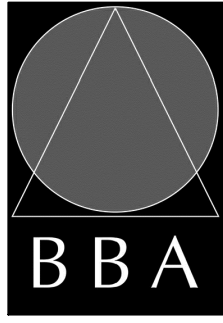
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WARSAW PUBLIC SCHOOL INTERIOR RENOVATIONS

975 English Line S, Warsaw, ON , K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:

PART FIRST FLOOR CEILING DEMOLITION PLAN



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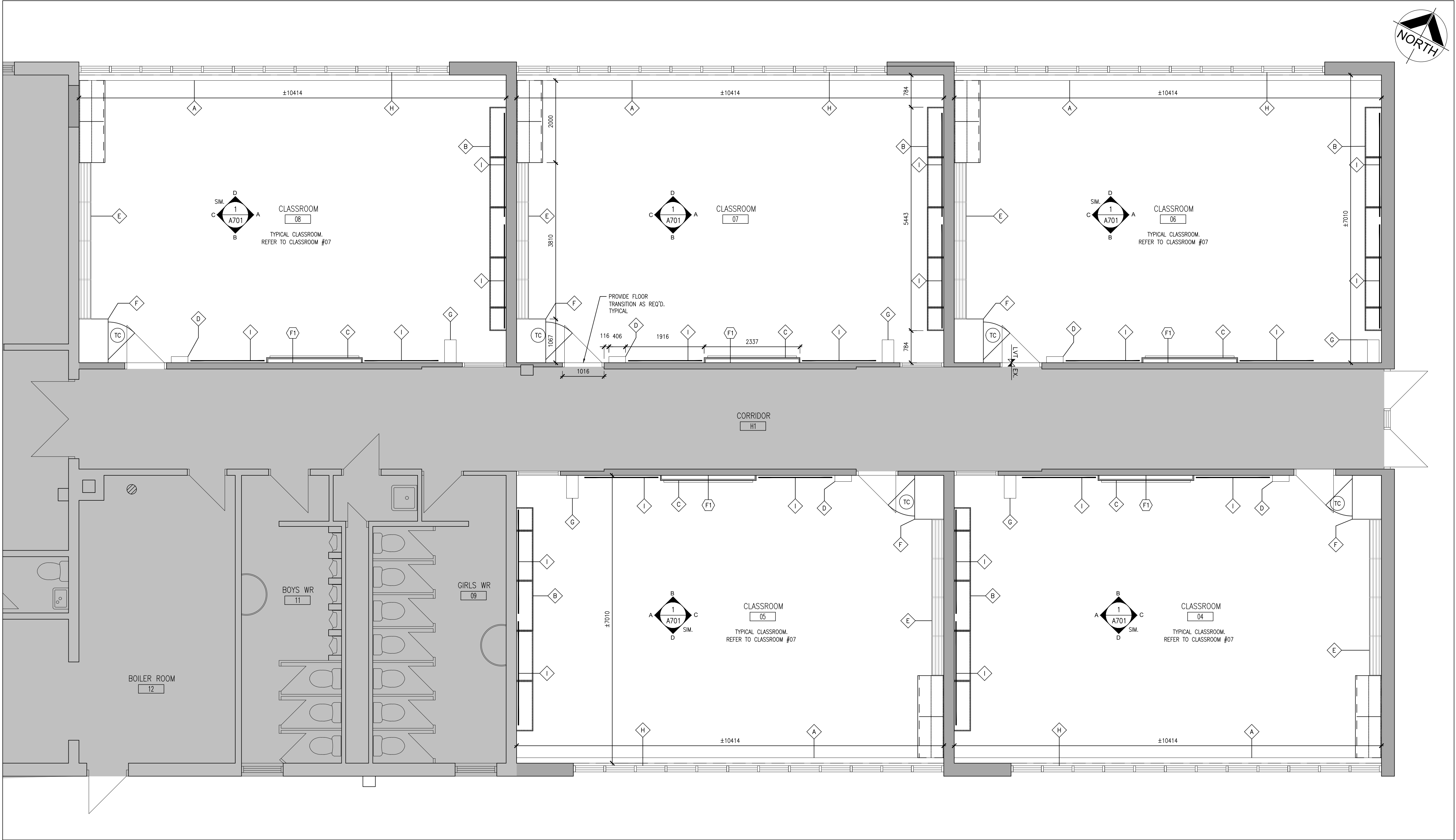
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A203

FLOOR PLAN NOTATION LEGEND		FLOOR NOTATION LEGEND			
<div>CORRIDOR</div> <div>CA</div> <div>ROOM NAME &amp; NUMBER</div> <div>WXX</div> <div>EXTERIOR WALL TYPE</div> <div>EXX</div> <div>INTERIOR PARTITION OR FURRING TYPE</div> <div>G01</div> <div>EXTERIOR GLAZING NUMBER</div> <div>SC01</div> <div>INTERIOR GLAZED SCREEN NUMBER</div> <div>101</div> <div>DOOR NUMBER</div> <div>MW-1</div> <div>MILLWORK NUMBER</div> <div>PB</div> <div>BARRIER FREE DOOR OPERATOR PUSH BUTTON</div> <div>PL</div> <div>PUSH TO LOCK PUSH BUTTON</div> <div>EM</div> <div>EMERGENCY ASSISTANCE CALL BUTTON</div> <div></div> <div>DOOR WITH DOOR OPERATOR</div>		<div><div><div>1</div><div>A200</div></div><div>WALL SECTION REFERENCE</div><div><div>1</div><div>A200</div></div><div>BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE</div><div><div>D</div><div>1</div><div>A901</div><div>C</div><div>A</div></div><div>INTERIOR ELEVATION REFERENCE NUMBER</div><div>F.R.R.</div><div>FIRE RESISTANCE RATING</div><div>FE</div><div>FIRE EXTINGUISHER</div><div>FEC</div><div>FIRE EXTINGUISHER CABINET</div><div></div><div>WHITEBOARD - REFER TO ELEVATIONS FOR SIZING &amp; QUANTITIES</div><div><div>LVT</div><div>LVT</div></div><div>FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE)</div></div>		<div><div><div>12</div><div>F1</div></div><div>16mm GYPSUM BOARD 19mm PLYWOOD 92mm STEEL STUDS @ 400mm O.C.</div></div> <div>PARTITION &amp; FURRING NOTES</div> <div><div>1.</div><div>A "T" DESIGNATION (i.e. "T6T") INDICATES LOW PARTITION (+1500mm HIGH).</div></div> <div><div>2.</div><div>UNLESS OTHERWISE NOTED, ALL PARTITIONS TERMINATE AT UNDERSIDE OF METAL ROOF DECK ABOVE.</div></div> <div><div>3.</div><div>ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS OR SCREENS TO BE BRACED AS REQUIRED.</div></div> <div><div>4.</div><div>PROVIDE BLOCKING / REINFORCEMENT FOR THE INSTALLATION / ATTACHMENT OF ALL MILLWORK, CABINETRY, CHANGE TABLES, WASHROOM ACCESSORIES AND/OR FIXTURES &amp; EQUIPMENT INCLUDING FUTURE OR N.I.C. ITEMS AS REQUIRED.</div></div> <div><div>A</div><div>NEW WALLFIN AND ENCLOSURE</div></div> <div><div>B</div><div>BOOKSHELVES</div></div> <div><div>C</div><div>IDEA BOARD</div></div> <div><div>D</div><div>FLAM CONTROL PANEL - SEE DETAIL 7/A801</div></div> <div><div>E</div><div>UPPER MILLWORK SHELVEING &amp; COAT RACK BELOW</div></div> <div><div>F</div><div>TEACHERS CLOSET</div></div> <div><div>G</div><div>CHARGING TOWER</div></div> <div><div>H</div><div>NEW ROLLER SHADE</div></div> <div><div>I</div><div>WHITE BOARD WITH TACK BOARD ABOVE</div></div>	



1  
A204  
PART FIRST FLOOR PLAN  
1:50

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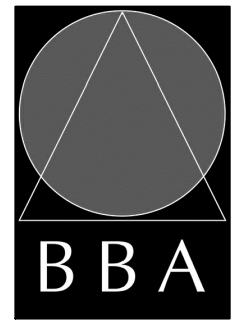
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1	ISSUED FOR TENDER	MAR. 1, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:  
**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON , K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:  
**PART FIRST FLOOR  
PLAN**

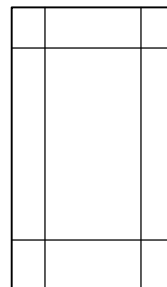











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DATE: JAN. 2024	SCALE: AS NOTED
FILE:	

PROJECT NO:  
**24008**

DRAWING NO:  
**A204**

CEILING TYPES	CEILING NOTATION LEGEND
  <p>NEW 2'-0" x 4'-0" ACOUSTIC CEILING TILE</p>	 <p>CEILING TILE (REFER TO CEILING TYPE LEGEND, ROOM FINISH SCHEDULE &amp; SPECIFICATION)</p>
 <p>NEW 2'-0" x 4'-0" ANGLED ACOUSTIC CEILING TILE - TYPICAL ABOVE ALL WINDOWS AND DOORS</p>	 <p>CEILING HEIGHT (REFER TO CEILING LEVEL ABOVE FINISHED FLOOR (SEE ALSO ROOM FINISH SCHEDULE))</p>
	 <p>LIGHT FIXTURE(S) - REFER TO ELECTRICAL</p>
	 <p>EMERGENCY LIGHTING FIXTURE - REFER TO ELECTRICAL</p>
	 <p>CEILING OR WALL MOUNTED EXIT LIGHT - REFER TO ELECTRICAL</p>
	 <p>NEW E/A GRILLE - REFER TO MECHANICAL</p>
<p><b>REFER TO PINCHIN LTD'S HSEMA REPORT FOR ANY ADDITIONAL REQUIRED ABUTMENT NOT NOTED IN THE DRAWING PACKAGE. IF HAZARDOUS BUILDING MATERIALS ARE DISCOVERED DURING THE PLANNED WORK, WHICH ARE NOT IDENTIFIED IN PINCHIN LTD'S REPORT, DO NOT DISTURB, AND ARRANGE FOR FURTHER TESTING AND EVALUATION.</b></p>	 <p>EXHAUST FAN - REFER TO MECHANICAL</p>



NO.	REVISIONS	DATE	BY
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PROJECT:

**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

DRAWING:  
PART FIRST FLOOR  
REFLECTED CEILING PLAN

<b>BARRY BRYAN ASSOCIATES</b>  Architects Engineers Project Managers  250 Water Street Suite 201 Whitby, Ontario L1N 0G5  Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com	<b>DESIGN BY:</b> <b>BBA</b>	<b>DOC CONTROL:</b> DATE:
	<b>DRAWN BY:</b> EL	<b>% COMPLETE:</b>
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<b>SCALE:</b> <b>AS NOTED</b>		
<b>FILE:</b>		



DOOR AND FRAME											DOOR HARDWARE	REMARKS
NO.	SIZE AND THICKNESS	TYPE	MATERIAL	FINISH	GLAZ.	TYPE	FRAME			FIRE RATING		
							DETAIL HEAD	JAMB	MATERIAL	FINISH		
TC	991x2083x44	-	-	-	-	-	-	-	-	-	REFER TO SPEC	REFER TO PLAN/ELEVATIONS FOR TEACHER CLOSET COUNT

ROOM SCHEDULE												
NO.	ROOM NAME	MAT.	CONC.	BASE	WALLS				CEILING	REV.		REMARKS
					NORTH	EAST	SOUTH	WEST				
04	CLASSROOM	CONC.	-	-	CMU	CMU	CMU	CMU	ACT			REFER TO CEILING PLANS FOR LOCATION OF NEW GYPSUM BOARD BULKHEADS COUNTERTOP COLOUR TO BE SELECTED BY PRINCIPAL FROM OWNER'S STANDARD PALETTE.
		FIN.	LVT	RB	P	P	P	P				
		COL.	-	-	-	-	-	-				
05	CLASSROOM	CONC.	-	-	CMU	CMU	CMU	CMU	ACT			REFER TO CEILING PLANS FOR LOCATION OF NEW GYPSUM BOARD BULKHEADS COUNTERTOP COLOUR TO BE SELECTED BY PRINCIPAL FROM OWNER'S STANDARD PALETTE.
		FIN.	LVT	RB	P	P	P	P				
		COL.	-	-	-	-	-	-				
06	CLASSROOM	CONC.	-	-	CMU	CMU	CMU	CMU	ACT			REFER TO CEILING PLANS FOR LOCATION OF NEW GYPSUM BOARD BULKHEADS COUNTERTOP COLOUR TO BE SELECTED BY PRINCIPAL FROM OWNER'S STANDARD PALETTE.
		FIN.	LVT	RB	P	P	P	P				
		COL.	-	-	-	-	-	-				
07	CLASSROOM	CONC.	-	-	CMU	CMU	CMU	CMU	ACT			REFER TO CEILING PLANS FOR LOCATION OF NEW GYPSUM BOARD BULKHEADS COUNTERTOP COLOUR TO BE SELECTED BY PRINCIPAL FROM OWNER'S STANDARD PALETTE.
		FIN.	LVT	RB	P	P	P	P				
		COL.	-	-	-	-	-	-				
08	CLASSROOM	CONC.	-	-	CMU	CMU	CMU	CMU	ACT			REFER TO CEILING PLANS FOR LOCATION OF NEW GYPSUM BOARD BULKHEADS COUNTERTOP COLOUR TO BE SELECTED BY PRINCIPAL FROM OWNER'S STANDARD PALETTE.
		FIN.	LVT	RB	P	P	P	P				
		COL.	-	-	-	-	-	-				

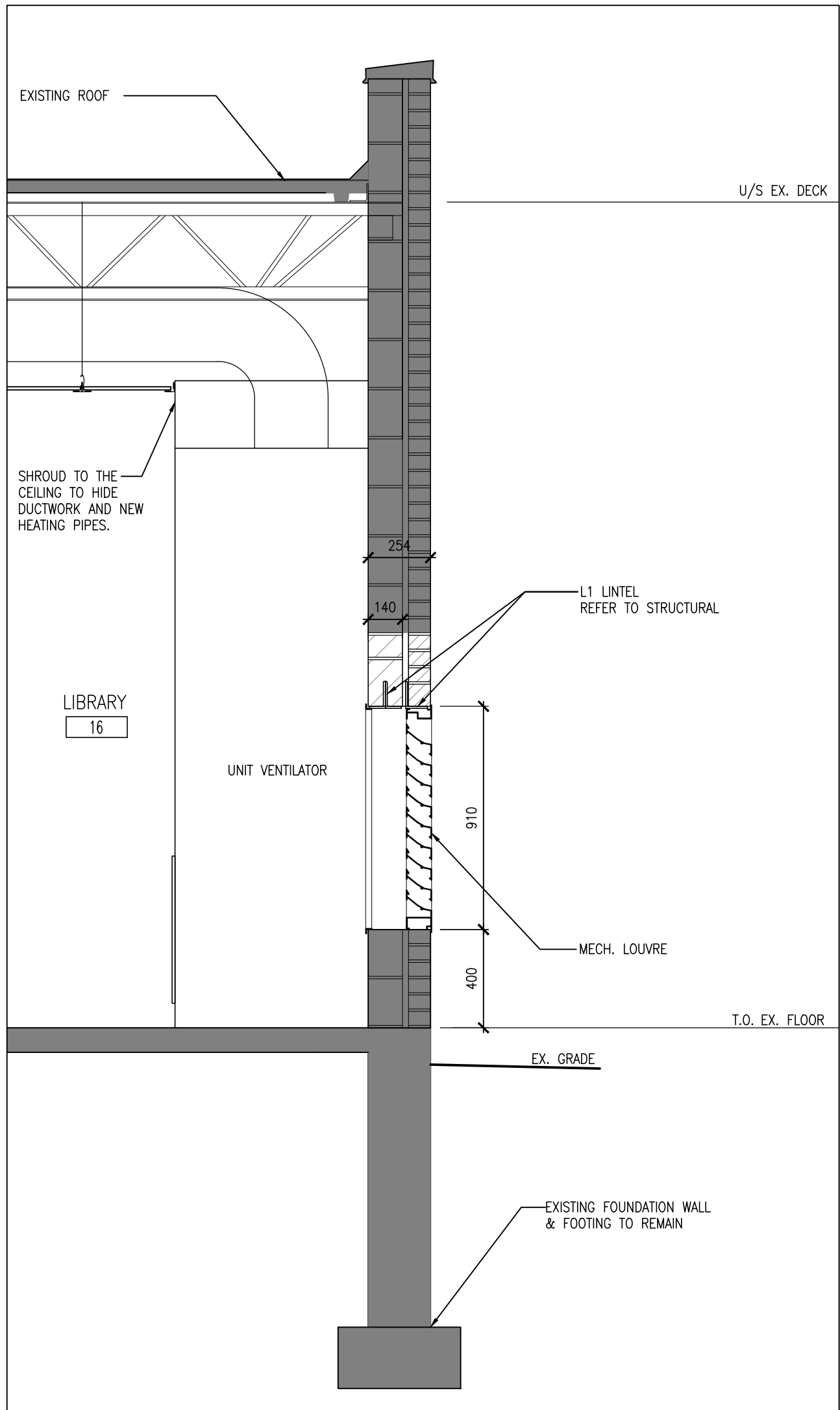
NOTES:  
1. ALL MILLWORK TO BE FINISHED WITH RUBBER BASE TO MATCH BASE FINISH ON ADJACENT WALLS.  
2. PAINT ALL EXISTING METAL DOOR FRAMES IN AREAS OF WORK.  
3. PROVIDE NEW FLOOR TRANSITIONS BETWEEN DIFFERENT FLOORING FINISHES AS REQUIRED.

#### INTERIOR ELEVATION NOTES

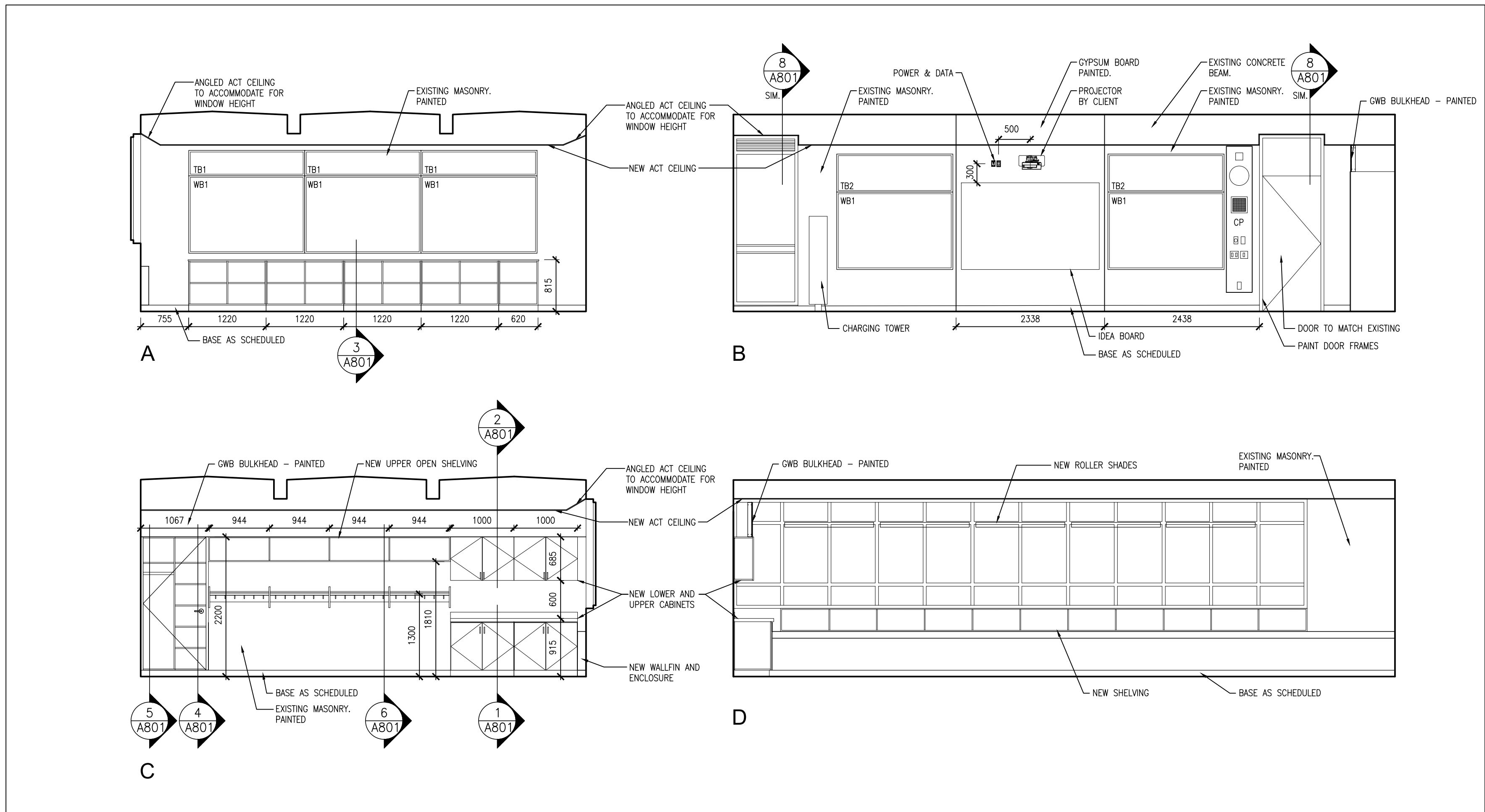
- REFER TO THE ELEVATIONS FOR NEW WHITE OR TACT BOARDS
- REFER TO ELECTRICAL DRAWINGS FOR ALL NEW RECEPTACLES.

#### WHITE BOARD AND TACKBOARD LEGEND

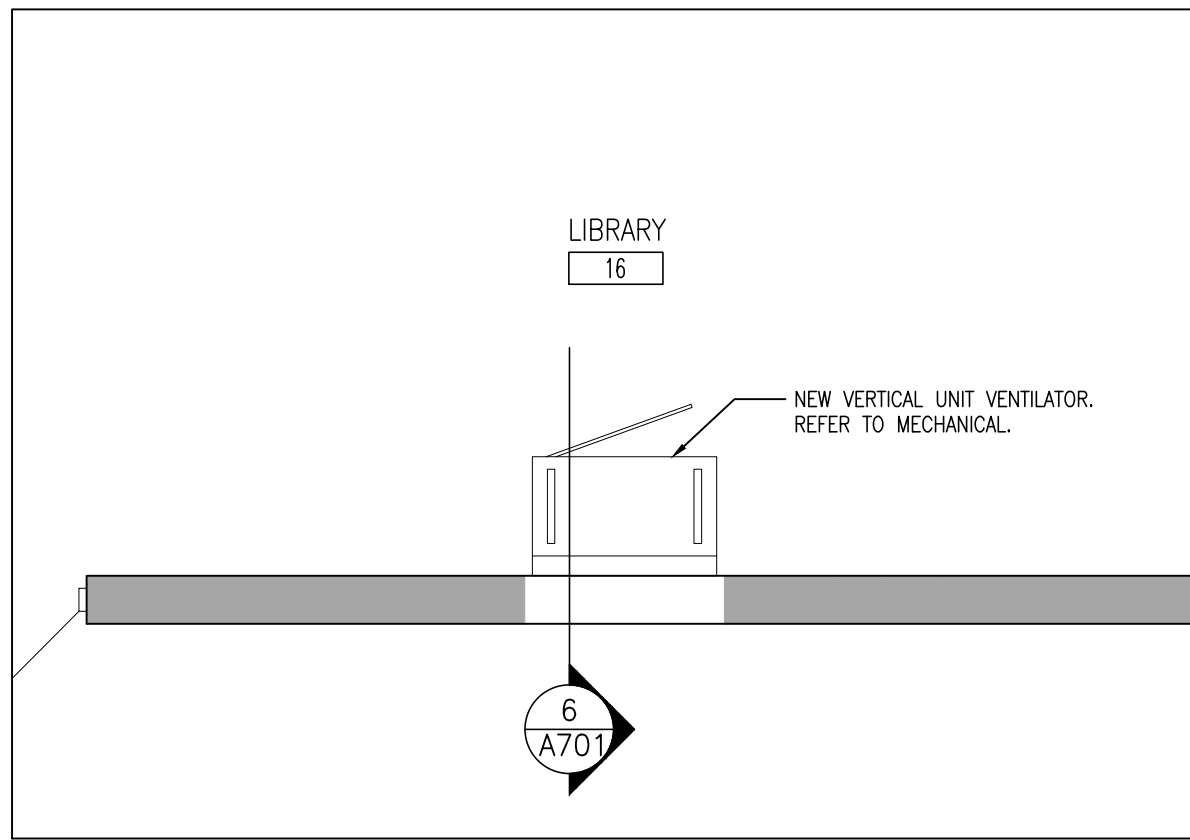
WHITE BOARDS (LxW)	TACK BOARDS (LxW)
WB1 - 1219x1828	TB1 - 400x1828
	TB2 - 600x1828



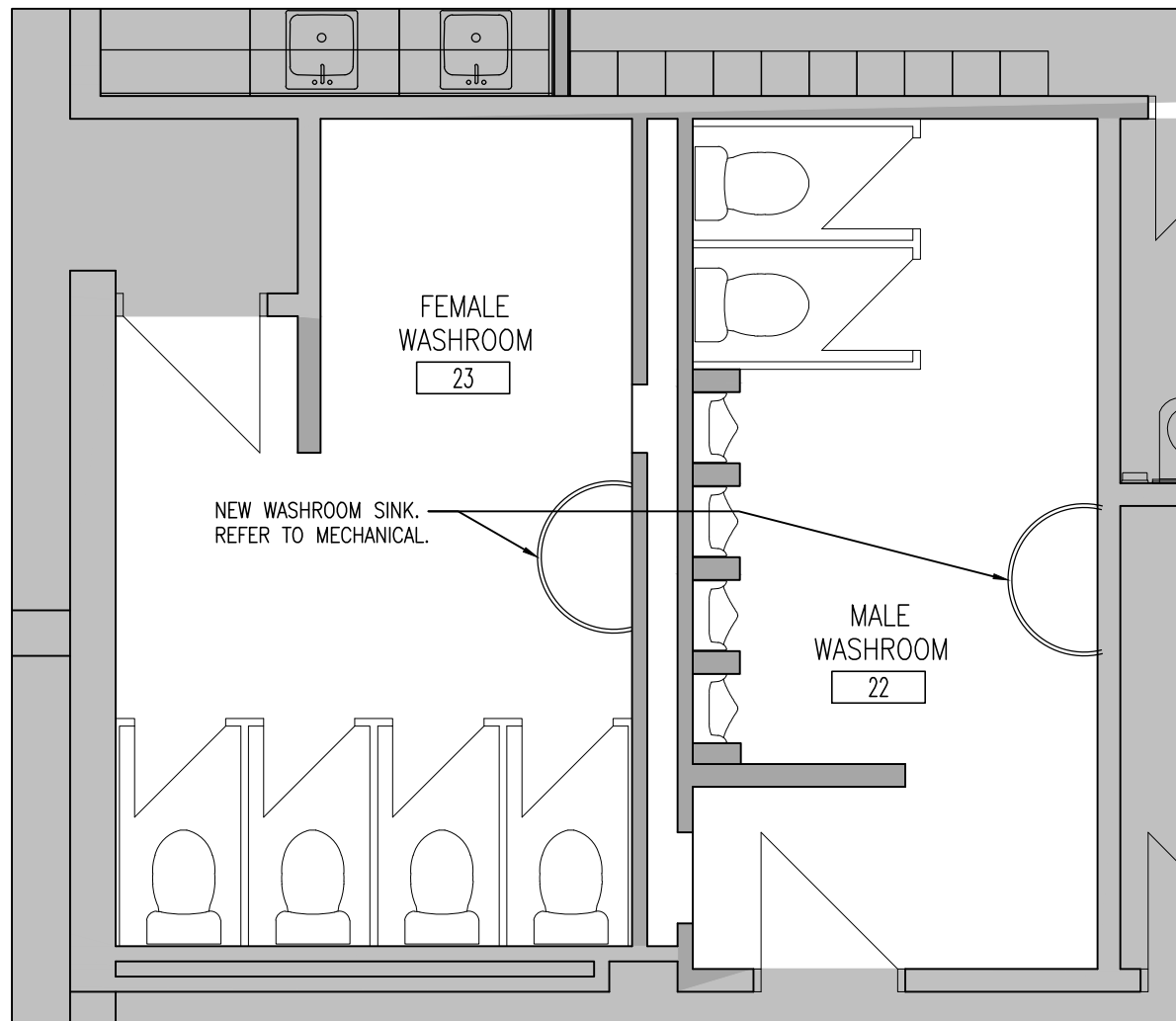
6  
A701  
WALL SECTION  
1:20



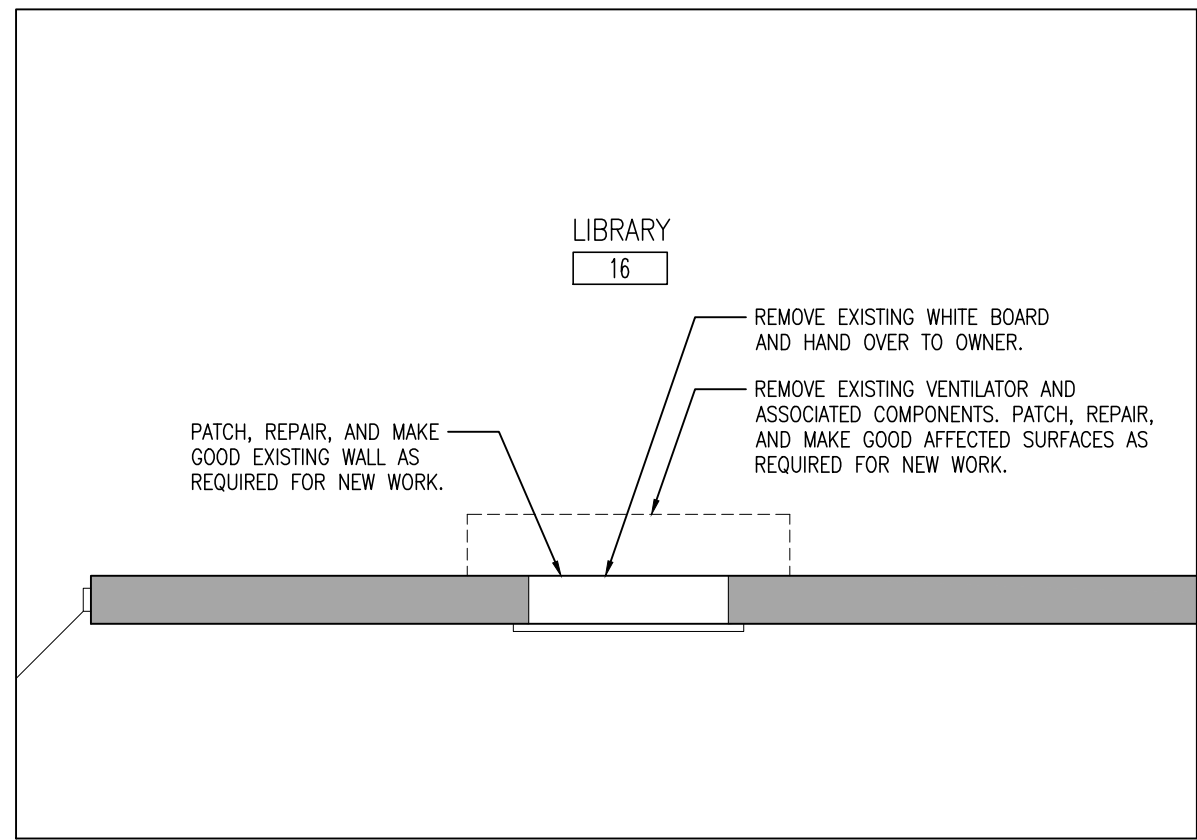
1  
A701  
TYPICAL CLASSROOM INTERIOR ELEVATIONS  
1:50



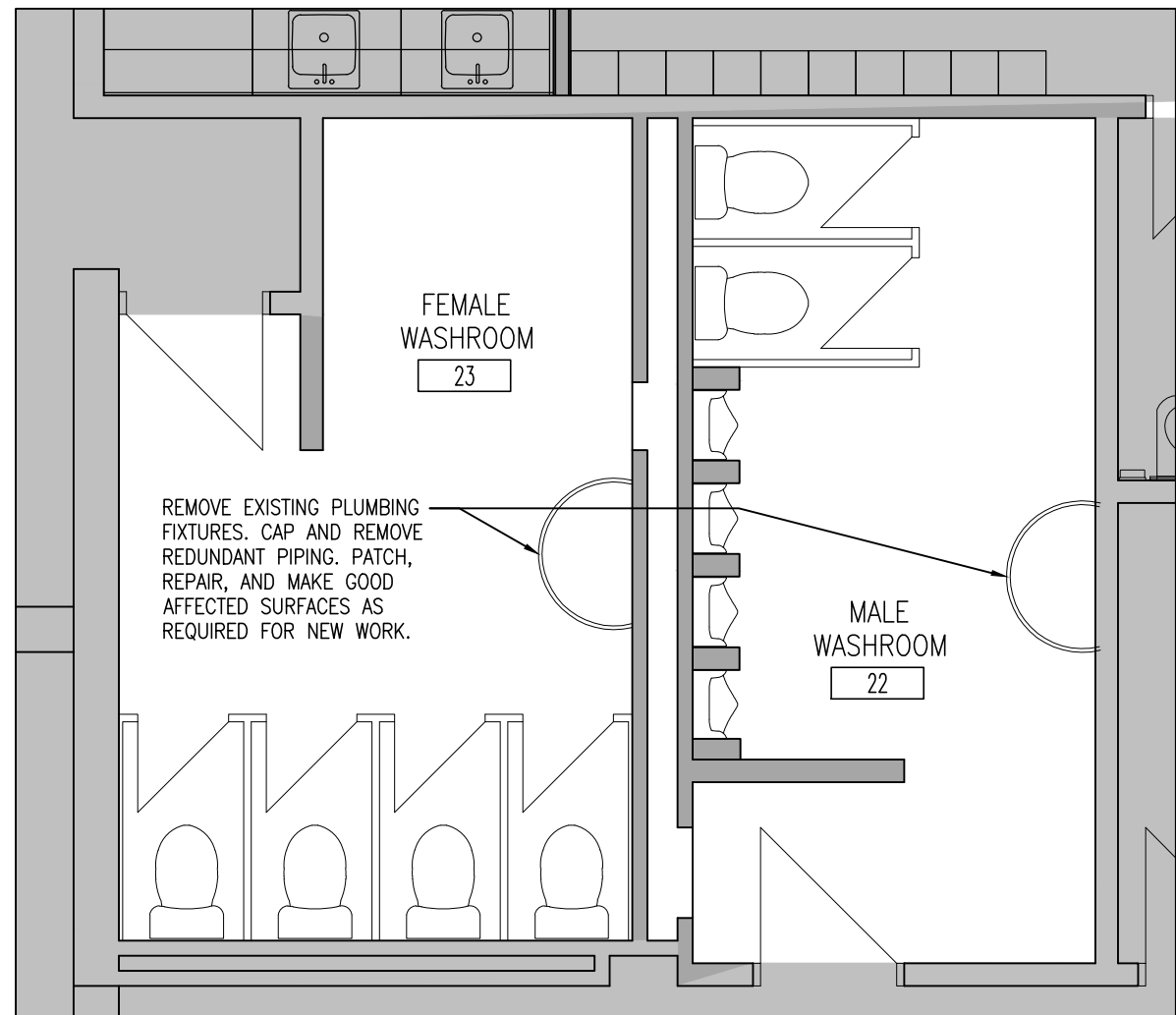
5  
A701  
PART LIBRARY PLAN  
1:50



3  
A701  
PART WASHROOM PLAN  
1:50



4  
A701  
LIBRARY DEMOLITION PLAN  
1:50



2  
A701  
WASHROOM DEMOLITION PLAN  
1:50

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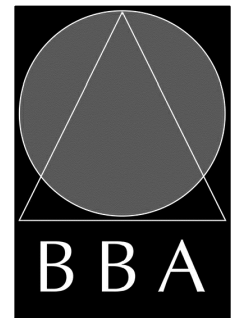
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#### PROJECT: WARSAW PUBLIC SCHOOL INTERIOR RENOVATIONS

975 English Line S, Warsaw, ON , K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

#### DRAWING: INTERIOR ELEVATIONS, PART FLOOR PLANS, AND SCHEDULES



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PROJECT NO:

24008

DRAWING NO:

A701

9 CONTROL PANEL SECTION  
A801 1:10

8 ANGLED ACOUSTIC CEILING TILE DETAIL  
A801 1:10

7 CONTROL PANEL SECTION AND ELEVATION  
A801 1:10

6 UPPER SHELVING WITH COAT RACK  
A801 1:10

## 5 TEACHERS CLOSET THROUGH COAT ROD

4 TEACHERS CLOSET THROUGH SHELVING  
A801 1:10

3 BOOK SHELVES  
A801 1:10

2 UPPER CABINET  
A801 1:10

1 BASE CABINET  
A801 1:10

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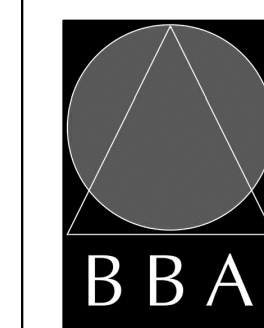
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PROJECT:

**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON , K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:  
MILLWORK SECTIONS



**BARRY BRYAN  
ASSOCIATES**  
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Engineers  
Project Managers

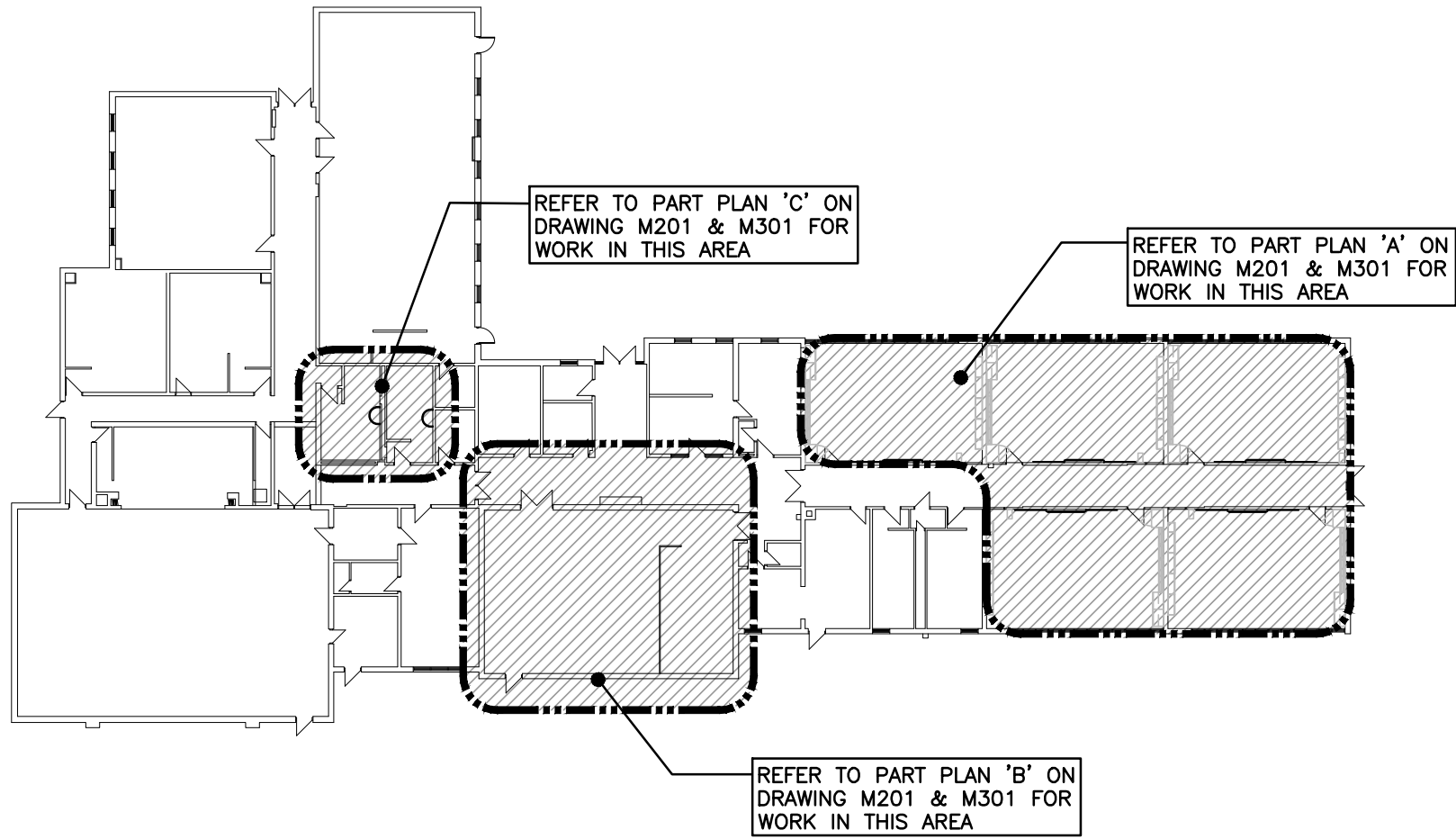
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SCALE: AS NOTED
FILE:

PROJECT NO: <b>24008</b>	DRAWING NO: <b>A801</b>
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KEY PLAN  
SCALE: N.T.S.

GENERAL NOTES

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED SPECIFICATION.
  - CONTRACTOR TO INCLUDE COST FOR CONSULTANT TO COMPLETE ELECTRONIC CAD AS-BUILT DWGS (ALL PAGES). REFER TO SPEC SECTION 20 02 51 – RECORD DWGS.
  - SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS, CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED. CO-ORDINATE VENT LOCATION(S) WITH GENERAL CONTRACTOR. MAINTAIN MIN 14'-0" FROM ANY AIR INLET. INSTALL VENT PIPING HIGH IN JOIST SPACE.
  - WHERE DUCTWORK PENETRATES CORRIDOR WALL, CENTER DUCT(S) BETWEEN OWSJ.
  - CO-ORDINATE WITH THE GENERAL CONTRACTOR ANY OWSJ BRIDGING/CROSS BRACING RELOCATION OR REMOVAL/REPLACEMENT REQUIRED FOR INSTALLATION OF DUCTWORK.
  - CONTRACTOR TO LOCATE ISOLATION VALVES / FREEZE PIPING / OR OTHERWISE DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED.
  - UPON COMPLETION OF THE PROJECT OR UPON COMPLETION OF EACH INDIVIDUAL PHASE OF THE PROJECT THE CONTRACTORS SHALL PROVIDE THE FOLLOWING CERTIFICATES BEFORE CONFORMANCE LETTERS ARE ISSUED BY THE CONSULTANT:
    - POTABLE WATER TEST (SEE SPEC 15142/22 11 16 PART 3)
- ALL CERTIFICATES ARE TO BE SUBMITTED TOGETHER IN A SINGLE PACKAGE.

HEATING COMPONENT SCHEDULE

Item	Type	Size	Capacity MBH	EWTF	LWTF	EATF	Manufacturer & Model	Remarks
H-1	RADIATION	AS NOTED	AS NOTED	150	130	70	ENG AIR WF-3A	2 ROW, 24" HIGH CABINET, BOTTOM MOUNTED AT 6"-8" AFF, FRONT GRILLE

GRILLE SCHEDULE

Item	Type	Manufacturer & Model	Finish	Remarks
S1	SIDEWALL SUPPLY	KRUEGER AF880	BRITISH WHITE	C/W SCREWED FASTENING, VOLUME EXTRACTOR, STEEL
R1	SIDEWALL RETURN	KRUEGER SB5	BRITISH WHITE	C/W SCREWED FASTENING

UNIT VENTILATOR SCHEDULE

Item	Type	Capacity		Min. O.A. Position	SP in. wc	Size hp	Heating					Cooling			Electrical			Manufacturer	Model	Remarks	
		tons	cfm				Medium	Coil Rows	EWTF	LWTF	Capacity MBH	GPM	Medium	Total Cap. MBH	Sens. Cap. MBH	Voltage	MCA				MOCP
UV-101	UNIT VENTILATOR	5.0	2000	25%	0.25	0.5	WATER	2	150	130	103.0	10.0	N/A	N/A	N/A	120/1/60	12.6	20	ENGINEERED AIR	RUV-2000	PROVIDE EMPTY SPACE, & DRAIN PAN FOR FUTURE COOLING COIL

PLUMBING FIXTURE SCHEDULE

Item	Type	Connection Sizes					Acceptable Manufacturer		Fixture Description	Acceptable Manufacturer	Trim Description		Accessories	Accessory Description
		HW	CW	TW	Drain	Vent								
WF-1	WASH FOUNTAIN	15ø	15ø	40ø	32ø		BRADLEY WF2704		SEMI-CIRCULAR 54" STAINLESS STEEL BOWL. ALL EXPOSED COMPONENTS TO BE STAINLESS STEEL. SUITABLE FOR FOUR (4) USERS. C/W BACKSPASH. TRIM: FOOT CONTROLLED, SPRAYHEAD, STOP VALVES, HORIZONTAL SWING CHECK VALVES, THERMOSTATIC MIXING VALVE PRESET AT 40°C. NO SOAP DISPENSER.					

MECHANICAL LEGEND

Item	Description	Item	Description
-----	ITEM TO BE REMOVED	--- f ---	BUTTERFLY VALVE
---+---	CUT EXISTING & CONNECT NEW PIPING	--- v ---	GATE VALVE
--->---	FLOW DIRECTION	--- o ---	WATER METER
--- c ---	POTABLE COLD WATER	--- co ---	FLOOR CLEANOUT
--- h ---	POTABLE HOT WATER	--- co ---	LINE CLEANOUT
--- ... ---	POTABLE HOT WATER RECIRC.	NC --- PRV ---	PRESSURE REDUCING VALVE
--- ... ---	POTABLE HOT WATER RECIRC.	--- COMW ---	3-WAY MIXING VALVE
--- SAN-EX- ---	EXISTING SAN ABOVE FLOOR	--- NO ---	3-WAY MIXING VALVE
--- SAN-EX- ---	EXISTING SAN BELOW FLOOR	--- BV ---	VALVE ON RISER
--- SAN- ---	SANITARY ABOVE FLOOR	--- BV ---	BALANCING VALVE
--- SAN- ---	SANITARY BELOW FLOOR	--- o ---	INLINE PUMP
--- CD ---	CONDENSATE DRAIN	--- TCV ---	2-WAY TEMPERATURE CONTROL VALVE
--- V- ---	VENT	--- TCV ---	3-WAY TEMPERATURE CONTROL VALVE
FD --- o ---	FLOOR DRAIN	--- o ---	THERMOSTAT (WITH GUARD WHERE INDICATED)
--- o ---	TRAP PRIMER	---->>>>	TURNING VANES
--- T ---	TEE CONNECTION	--- X ---	SUPPLY AIR DUCT
--- c ---	PIPE DOWN	--- X ---	RETURN/EXHAUST AIR DUCT
--- o ---	PIPE UP	--- X ---	ACOUSTIC DUCT LINING
--- G ---	SIGHT GLASS	--- X ---	THERMAL INSULATION
--- F ---	FLEXIBLE CONNECTION	--- X ---	BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER
--- R ---	REDUCER/INCREASER	--- X ---	TRUNK MAIN BRANCH COLLAR C/W BALANCING DAMPER
--- N ---	CHECK VALVE	--- BD ---	BALANCING DAMPER
--- U ---	UNION	--- OBD ---	OPPOSED BLADE DAMPER
--- S ---	STRAINER	--- M ---	MOTORIZED DAMPER
--- Y ---	PRESSURE & TEMPERATURE TEST STATION	--- FD ---	FIRE DAMPER
--- V ---	DRAIN (SCHEMATICS)	--- FSD ---	FIRE/SMOKE DAMPER
--- VB ---	VACUUM BREAKER	--- X ---	RECTANGULAR DUCTWORK
--- I ---	SCREWED OR WELDED PIPE	--- X ---	RIGID ROUND DUCT
NO	NORMALLY OPEN	--- X ---	FLEXIBLE ROUND DUCT
NC	NORMALLY CLOSED	--- X ---	DIFFUSER/GRILLE SIZE (imp), TYPE & CAPACITY (cfm)
--- B ---	BALL VALVE	--- X ---	HYDRONIC HEATING SIZE, TYPE & CAPACITY
RIC	RETURN IN CABINET	--- AD ---	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR	--- EXP ---	EXPANSION JOINT
AFR	ABOVE FINISHED ROOF	--- EX ---	EXISTING DUCT (SIZE AS INDICATED)

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.  
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.  
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.  
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.  
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1	ISSUED FOR COORDINATION	09.02.24	MW
2	ISSUED FOR TENDER REVIEW	23.02.24	MW
3	ISSUED FOR TENDER	01.03.24	MW

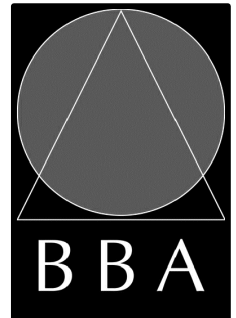

NO.	REVISIONS	DATE	BY
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PROJECT:  
WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS

975 English Line S, Warsaw, ON, K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:  
KEYPLAN, LEGENDS,  
AND SCHEDULES



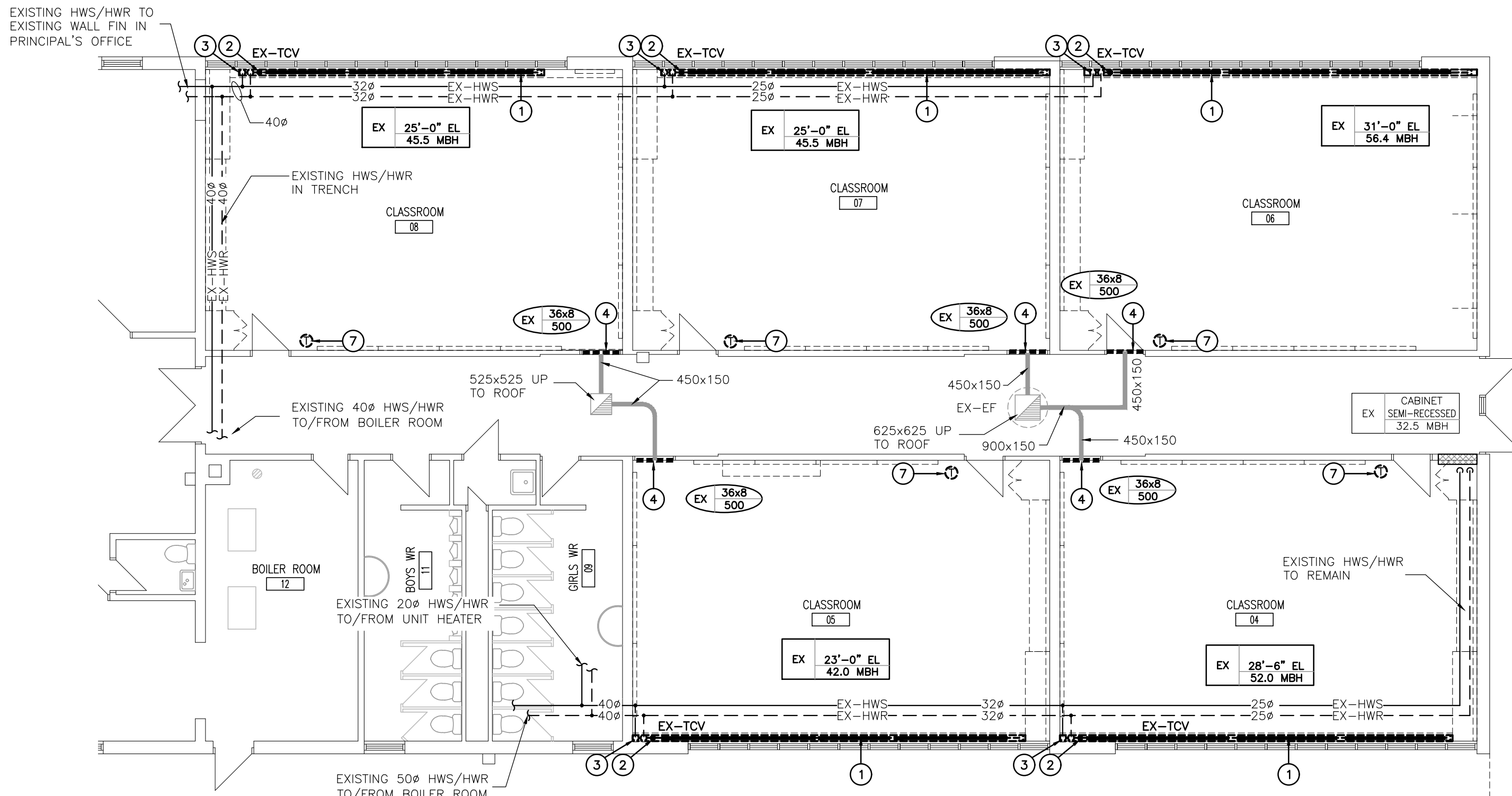
BARRY BRYAN ASSOCIATES  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com



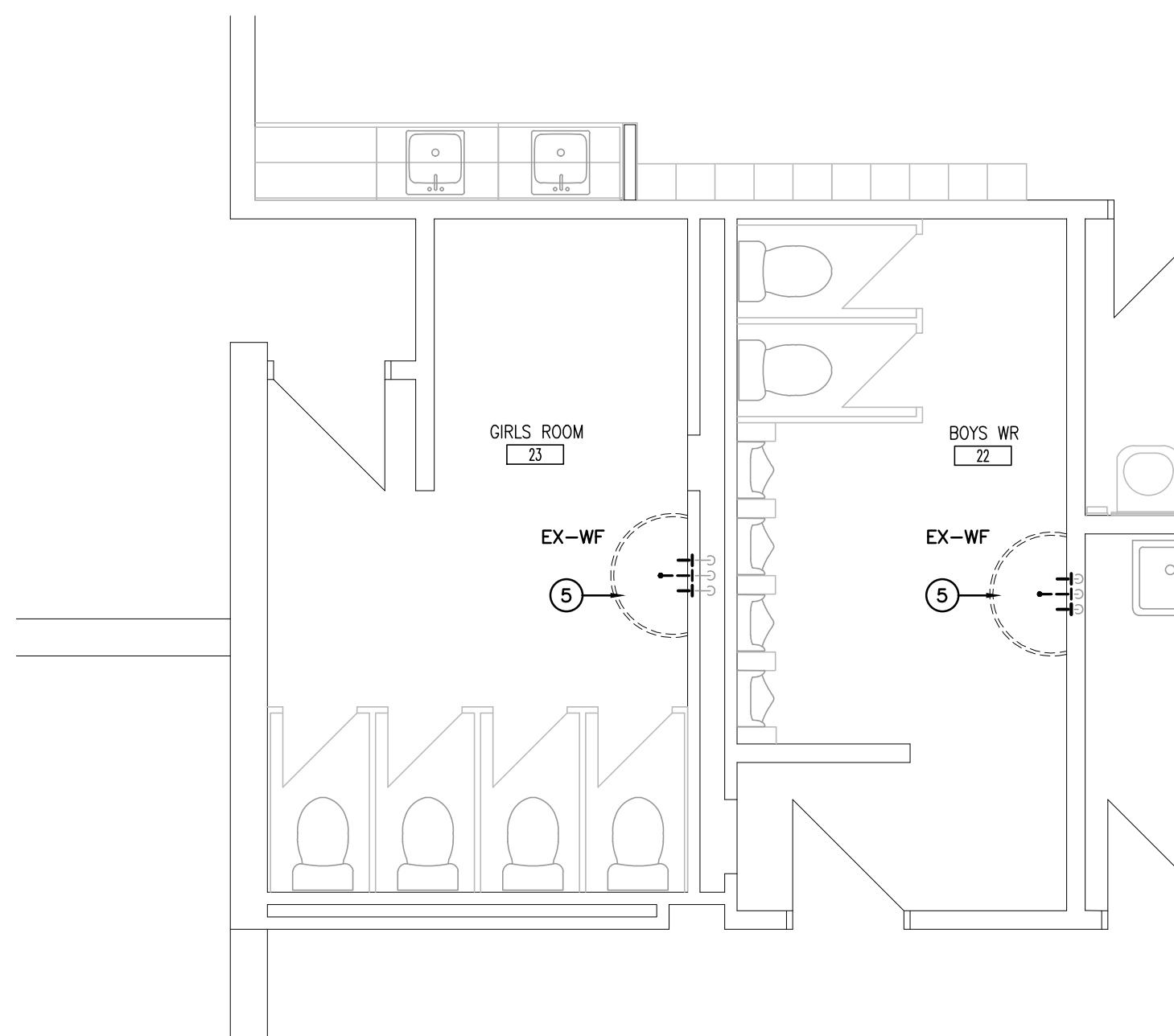
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CHECKED BY: MW	INITIAL:
DATE: FEB 2024	SCALE: AS NOTED
FILE:	

PROJECT NO:  
**24008**

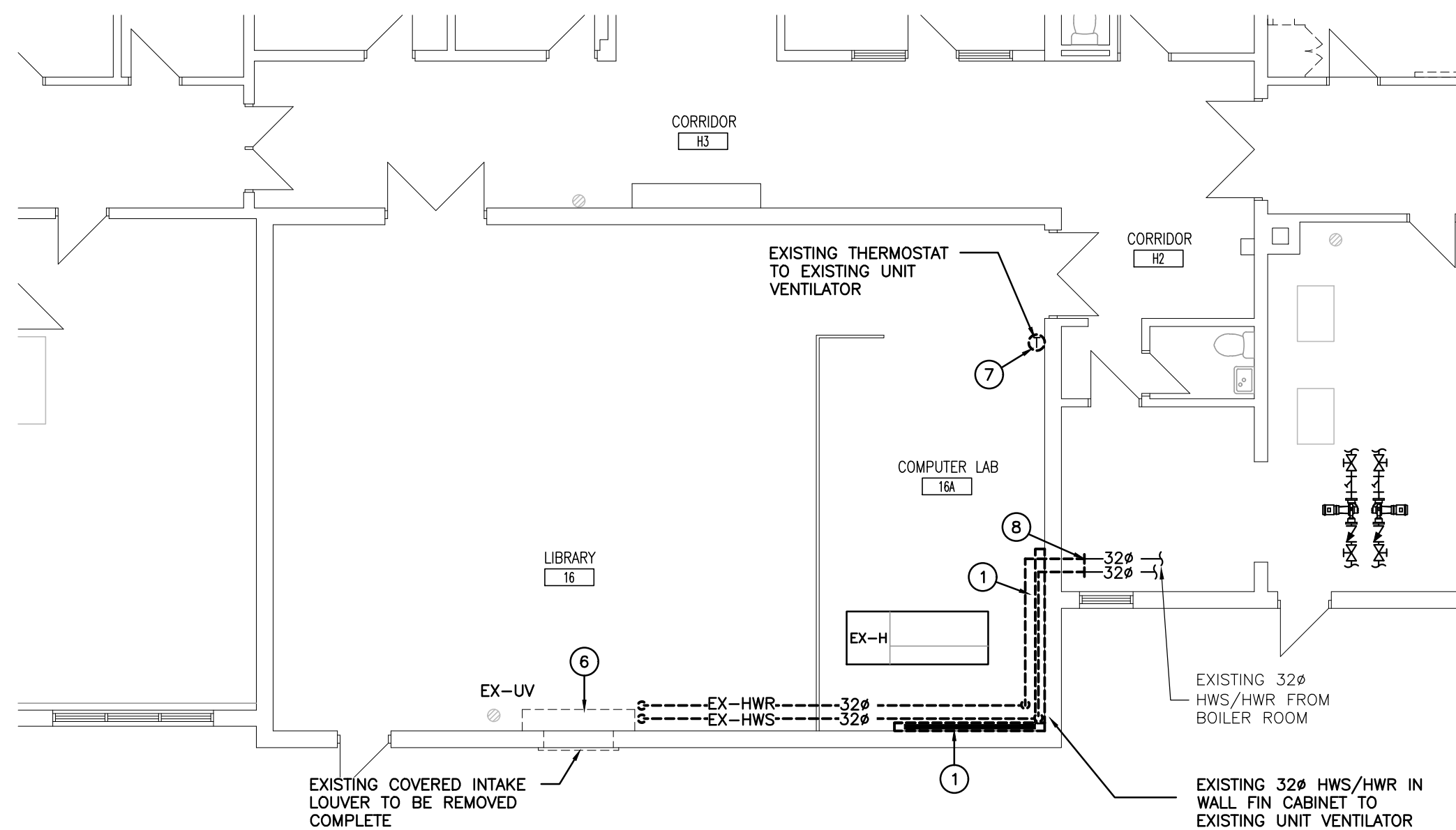
DRAWING NO:  
**M101**



GROUND FLOOR PART PLAN 'A' - DEMOLITION  
SCALE: 1:100



GROUND FLOOR PART PLAN 'C' - DEMOLITION  
SCALE: 1:50



GROUND FLOOR PART PLAN 'B' - DEMOLITION  
SCALE: 1:100

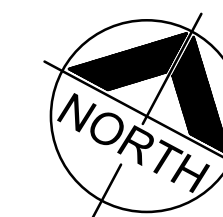
## GENERAL DEMOLITION NOTES

- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.
- REFER TO HAZARDOUS MATERIALS REPORT/ SPECIFICATIONS FOR ABATEMENT SCOPE OF WORK. COORDINATE ALL DEMOLITION/ RENOVATION WORK WITH ABATEMENT CONSULTANT

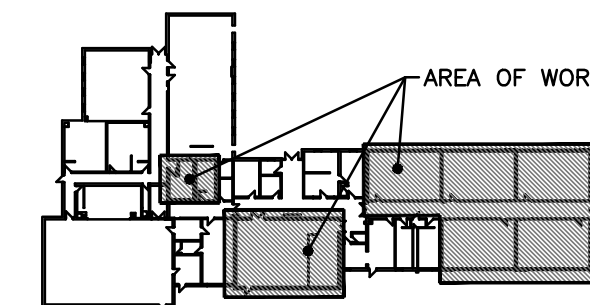
## SPECIFIC DEMOLITION NOTES

- EXISTING WALL FIN AND ALL ASSOCIATED COMPONENTS AND CABINETS TO BE REMOVED COMPLETE.
- EXISTING TCV, BALANCING AND ISOLATION VALVES TO BE REMOVED COMPLETE. COORDINATE REMOVAL OF EXISTING WIRING WITH BAS CONTRACTOR.
- EXISTING HWS&R PIPING TO BE CUT ON RISER & REMOVED BEYOND COMPLETE.
- EXISTING GRILLE TO BE REMOVED COMPLETE.
- EXISTING WASH FOUNTAIN AND ALL ASSOCIATED COMPONENTS TO BE REMOVED COMPLETE. EXISTING DOMESTIC WATER PIPING TO BE CUT AND REMOVED BEYOND COMPLETE. EXISTING SANITARY PIPING TO BE CUT AND REMOVED BEYOND COMPLETE. MODIFY EXISTING ROUGH-IN TO SUIT.
- EXISTING UNIT VENTILATOR AND ALL ASSOCIATED COMPONENTS TO BE REMOVED COMPLETE.
- EXISTING THERMOSTAT TO BE REMOVED COMPLETE.
- EXISTING HWS&R PIPING TO BE CUT & REMOVED BEYOND COMPLETE.

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3	ISSUED FOR TENDER	01.03.24	MW



Key Plan


NO.	REVISIONS	DATE	BY
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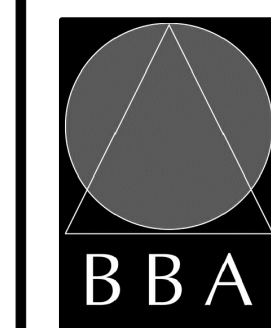
PROJECT:

**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON, K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING:

**PARTIAL PLANS  
DEMOLITION**

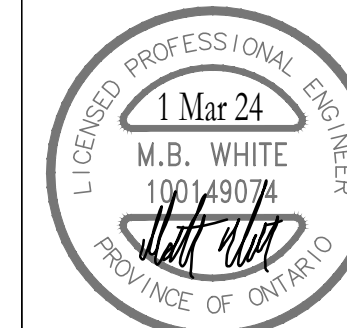


**BARRY BRYAN  
ASSOCIATES**

Architects  
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Project Managers

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Whitby, Ontario  
L1N 0G5

Tel: (905) 666-5252  
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PROJECT NO:

**24008**

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**M201**

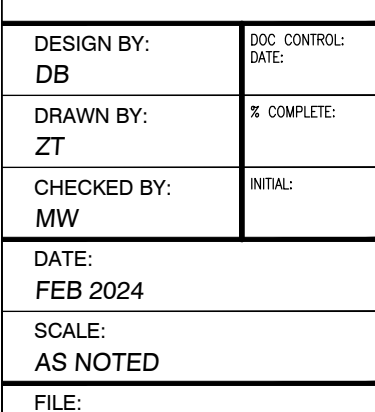


- A. PROVIDE NEW DDC THERMOSTAT.
- B. PROVIDE SPACE IN CABINET FOR NEW ISOLATION, TC/V, & BALANCING VALVE. C/W ACCESS DOOR. REFER TO DETAIL.
- C. CONNECT NEW EXHAUST GRILLE TO EXISTING EXHAUST DUCTWORK.
- D. CONNECT EXISTING H&CW & SANITARY PIPING TO NEW WASH FOUNTAIN C/W NEW ISOLATION VALVES. MODIFY/OFFSET PIPING AS REQUIRED TO SUIT.
- E. CONNECT NEW 25# HWS&R PIPING TO EXISTING HWS&R PIPING.



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DRAWING:  
PARTIAL PLANS  
RENOVATION



M301





NOTE: ALL SYMBOLS MAY NOT BE USED

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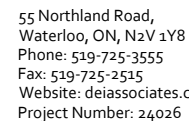
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Kawartha Pine Ridge  
District School Board

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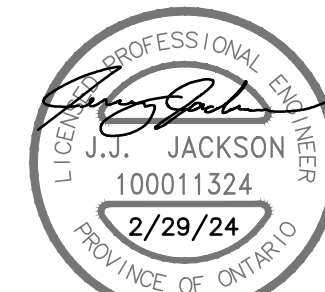
PROJECT:

**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON, K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

DRAWING

## KEYPLAN, SCHEDULES, AND DETAILS

BARRY BRYAN  
ASSOCIATESArchitects  
Engineers  
Project Managers

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PROJECT NC

24008

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KV/JAG

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JJ

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FEB 2024

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DRAWING M

54

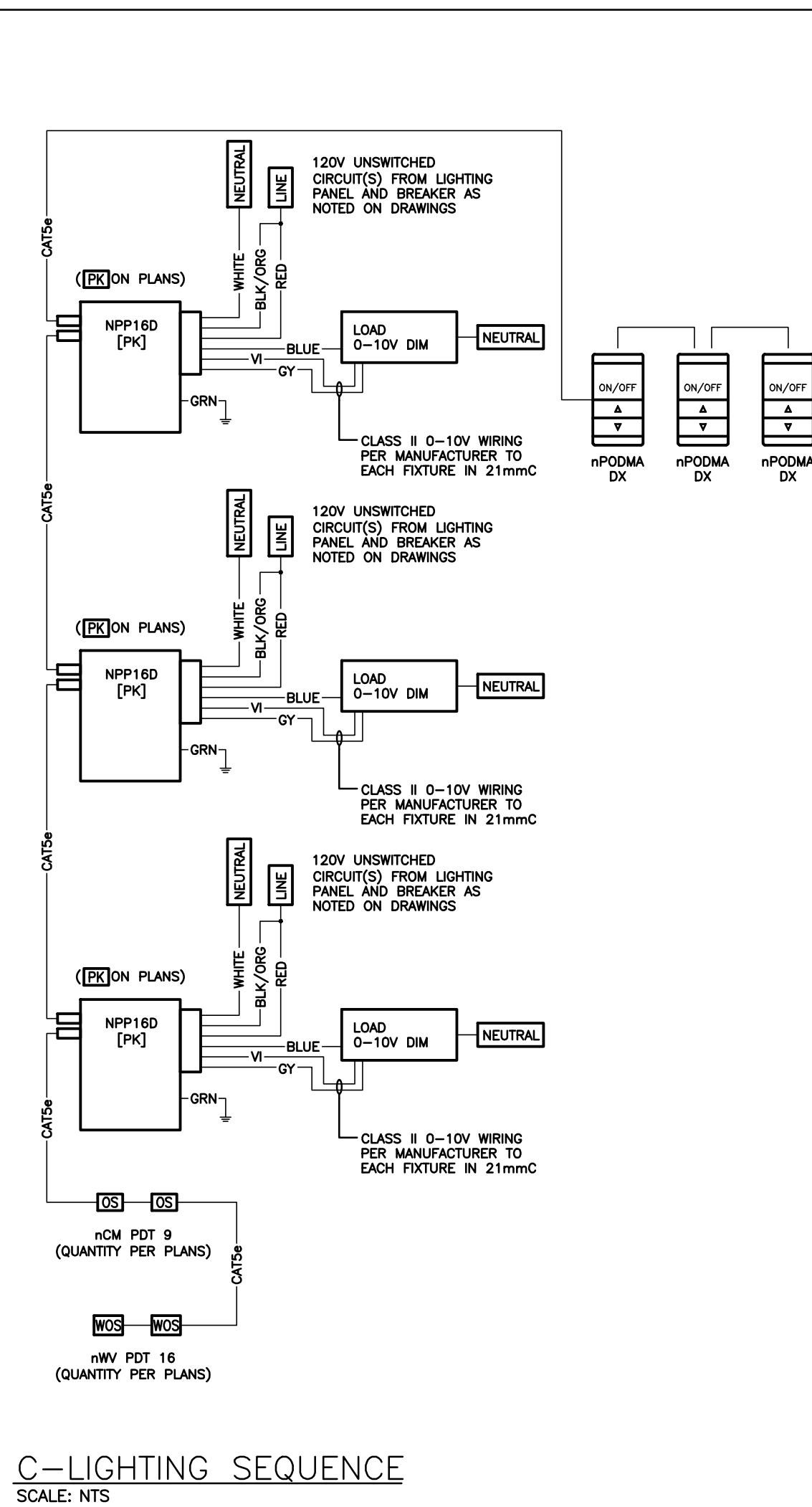
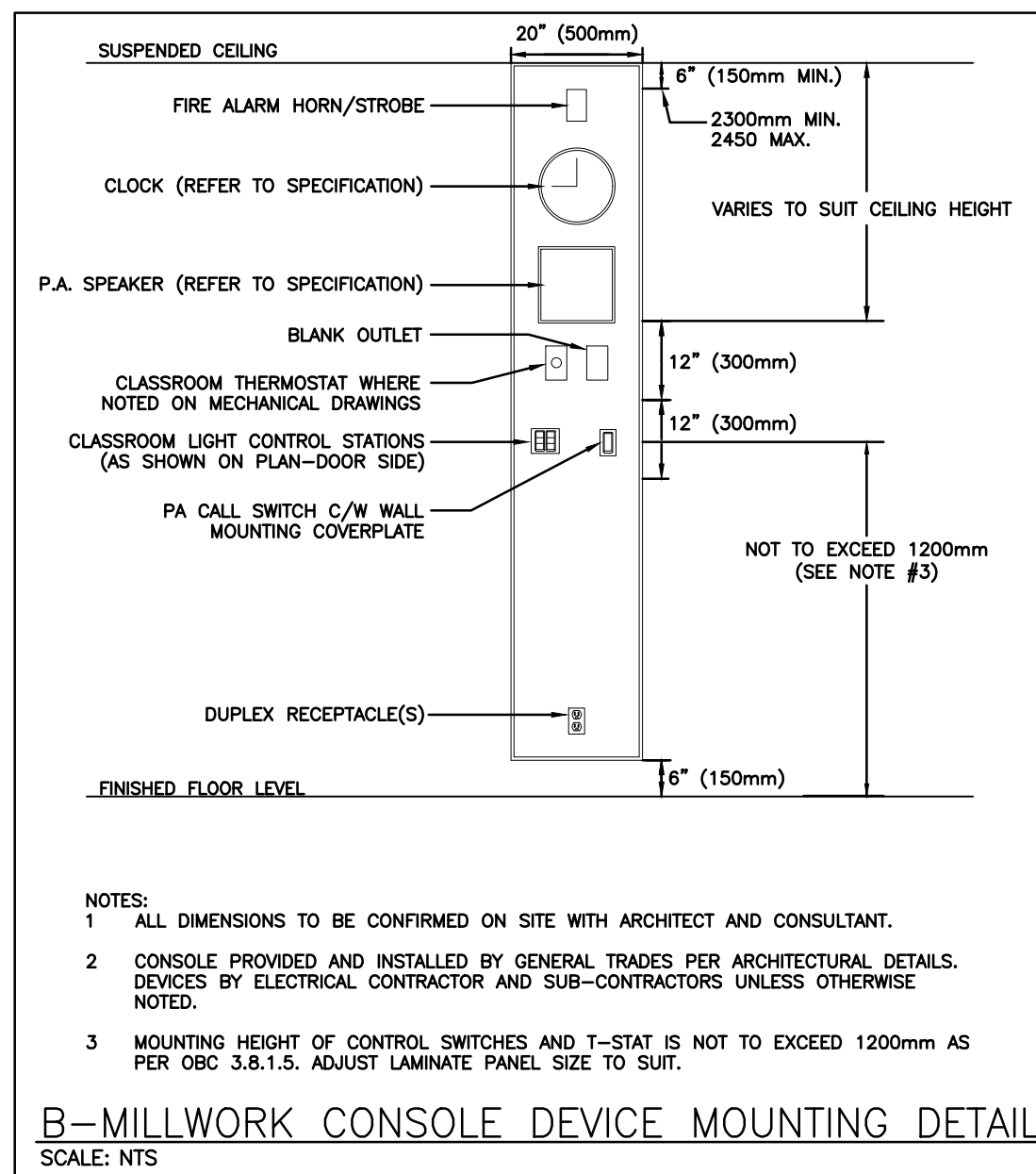
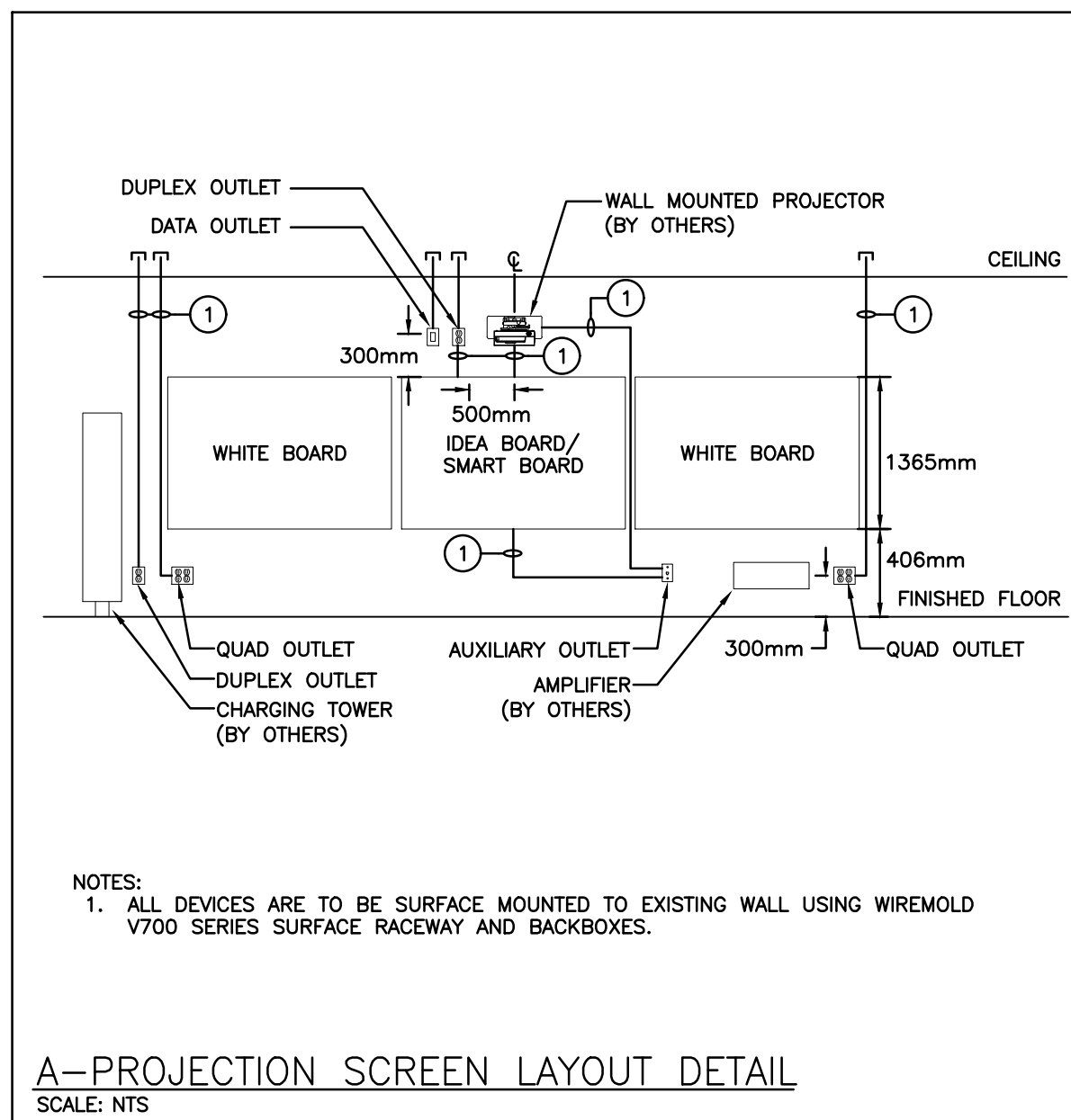
# E1

11

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## LIGHT FIXTURE SCHEDULE

E=ELECTRICAL  
M=MECHANICAL  
O=OTHERS



## EXISTING PANEL 'BR' SCHEDULE

VOLTAGE: 120/208 VOLTS  
 PHASE: 1P, 3W  
 MAINS: 225A  
 NEUTRAL BUS: FULL  
 MOUNTING: SURFACE  
 NOTES: EXISTING

BLR PUMP	15A	1		2	15A	BLR PUMP #2
CIRCULATING PUMP	15A	3		4	15A	CIRC PUMP #4
BOILER #1	15A	5		6	15A	DUPLEX OIL PUMP PANEL
BOILER #2	15A	7		8	15A	EM LIGHT ABOVE PANEL
BAS CONTROLLER	15A	9		10	15A	COMPUTER LAB
BOILER CONTROL CIRCUIT	15A	11		12	2P	
SPACE		13		14		SPACE
SPACE		15		16		SPACE
SPACE		17		18		SPACE
SPACE		19		20		SPACE
SPACE		21		22		SPACE
SPACE		23		24		SPACE
SPACE		25		26		SPACE
PANEL RECP.	15A	27		28	15A	LIBRARY SOUTH
PANEL RECP.	15A	29		30	15A	UNIT VENT

## PROPOSED PANEL 'BR' SCHEDULE

BLR PUMP	15A	1		2	15A	BLR PUMP #2
CIRCULATING PUMP	15A	3		4	15A	CIRC PUMP #4
BOILER #1	15A	5		6	15A	DUPLEX OIL PUMP PANEL
BOILER #2	15A	7		8	15A	EM LIGHT ABOVE PANEL
BAS CONTROLLER	15A	9		10	15A	COMPUTER LAB
BOILER CONTROL CIRCUIT	15A	11		12	2P	
CLASSRMS 4 & 5 LTS	20A	13		14	15A	CLASSRM 4 REC.
CLASSRMS 6, 7, & 8 LTS	20A	15		16	15A	CLASSRM 4 REC.
CLASSRM 5 REC.	15A	17		18	15A	CLASSRM 4 EQUIPMENT REC.
CLASSRM 5 REC.	15A	19		20	15A	CLASSRM 6 REC.
CLASSRM 5 EQUIPMENT REC.	15A	21		22	15A	CLASSRM 6 REC.
CLASSRM 7 REC.	15A	23		24	15A	CLASSRM 6 EQUIPMENT REC.
CLASSRM 7 REC.	15A	25		26	15A	CLASSRM 8 REC.
PANEL RECP.	15A	27		28	15A	LIBRARY SOUTH
PANEL RECP.	15A	29		30	15A	UNIT VENT
CLASSRM 7 EQUIPMENT REC.	15A	31		32	15A	CLASSRM 8 REC.
SPARE	15A	33		34	15A	CLASSRM 8 EQUIPMENT REC.
SPARE	15A	35		36	20A	SPARE
SPARE	15A	37		38	20A	SPARE
SPARE		39		40	20A	SPARE
SPARE		41		42	20A	SPACE

**AT THE COMPLETION OF THE PROJECT, PROVIDE A NEW TYPE WRITTEN PANEL DIRECTORY AND INCLUDE A COPY IN THE MAINTENANCE MANUALS**

**NOTES:** THIS CONTRACTOR IS TO INVESTIGATE BREAKERS AND REVISE PANEL SCHEDULES TO SUIT RENOVATION, NOTING ANY BREAKERS THAT BECOME SPARE DUE TO DEMOLITION. THIS CONTRACTOR IS ALSO TO NOTIFY THE CONSULTANT OF ANY BREAKERS THAT ARE INDICATED TO BE DEMOLISHED OR REUSED, BUT WHICH ARE IN USE BY OTHER DEVICES OR SERVICES.

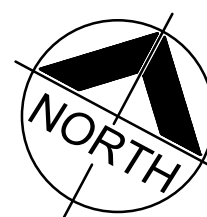
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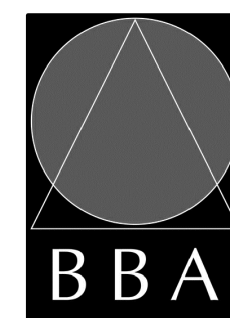
PROJECT:

**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON, K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

**DRAWING:**

## KEYPLAN, SCHEDULES, AND DETAILS



BARRY BRYAN  
ASSOCIATES

Architects  
Engineers  
Project Managers

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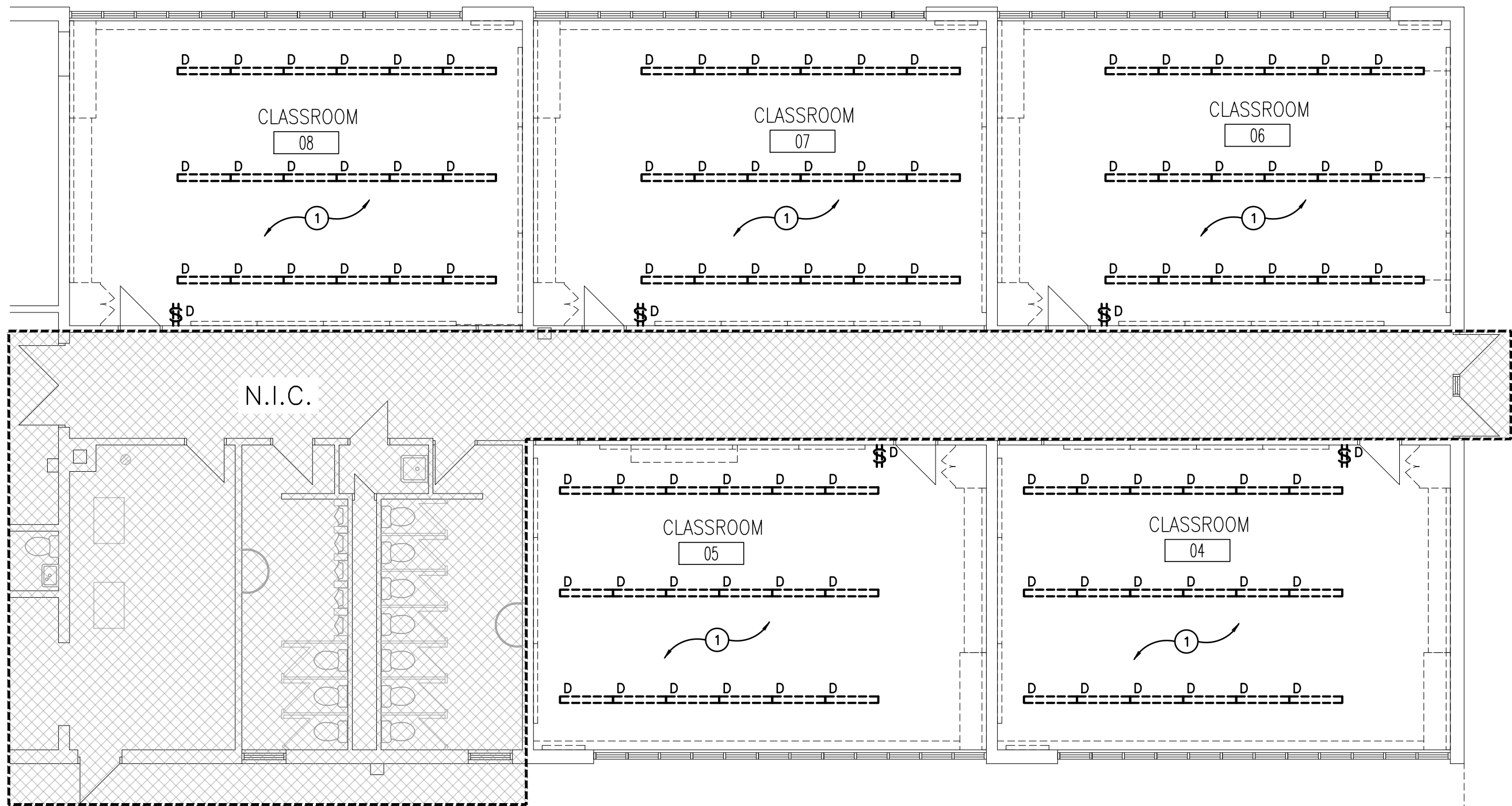
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DATE: FEB 2024	
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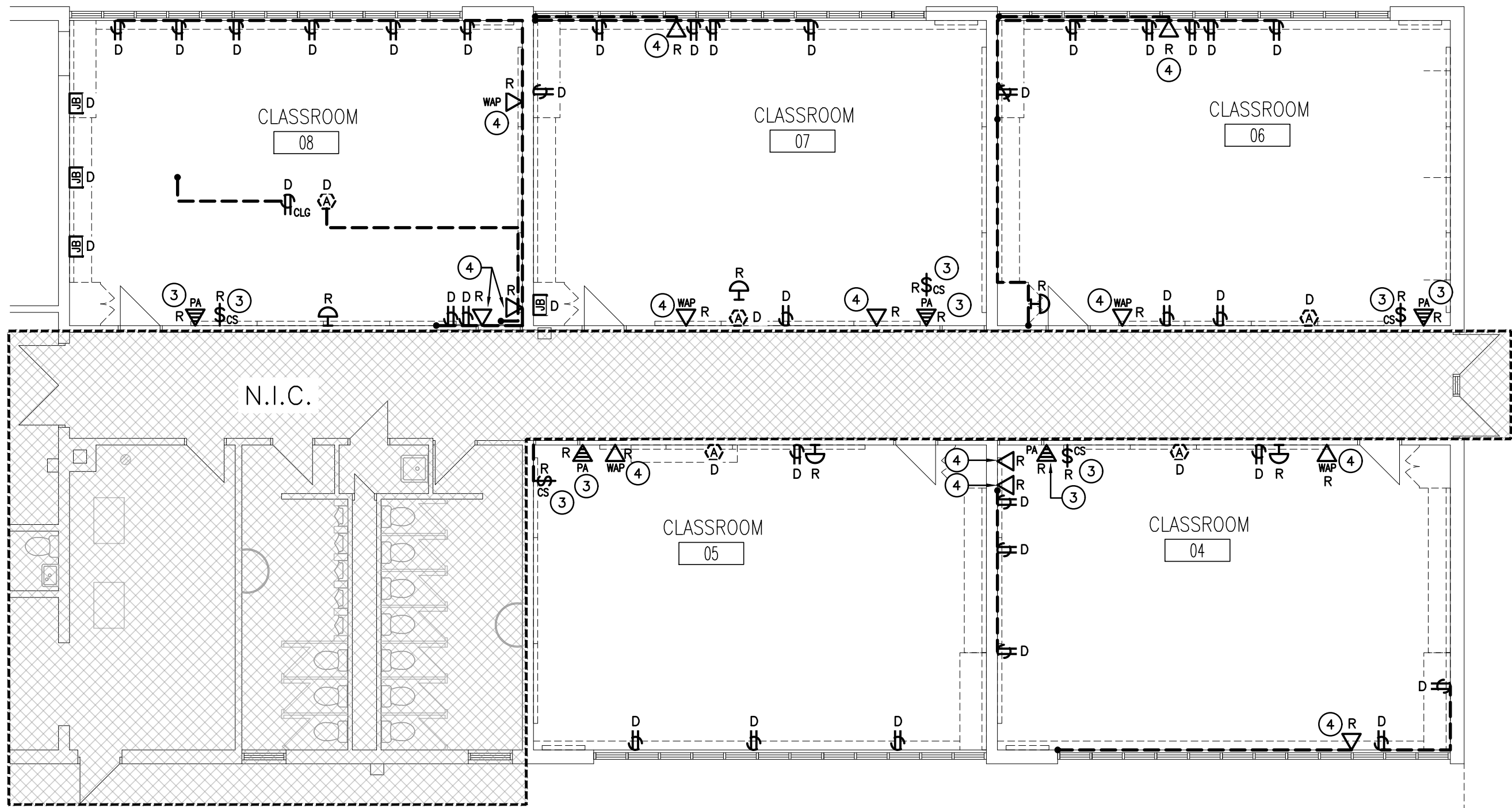
24008

DRAWING NO.

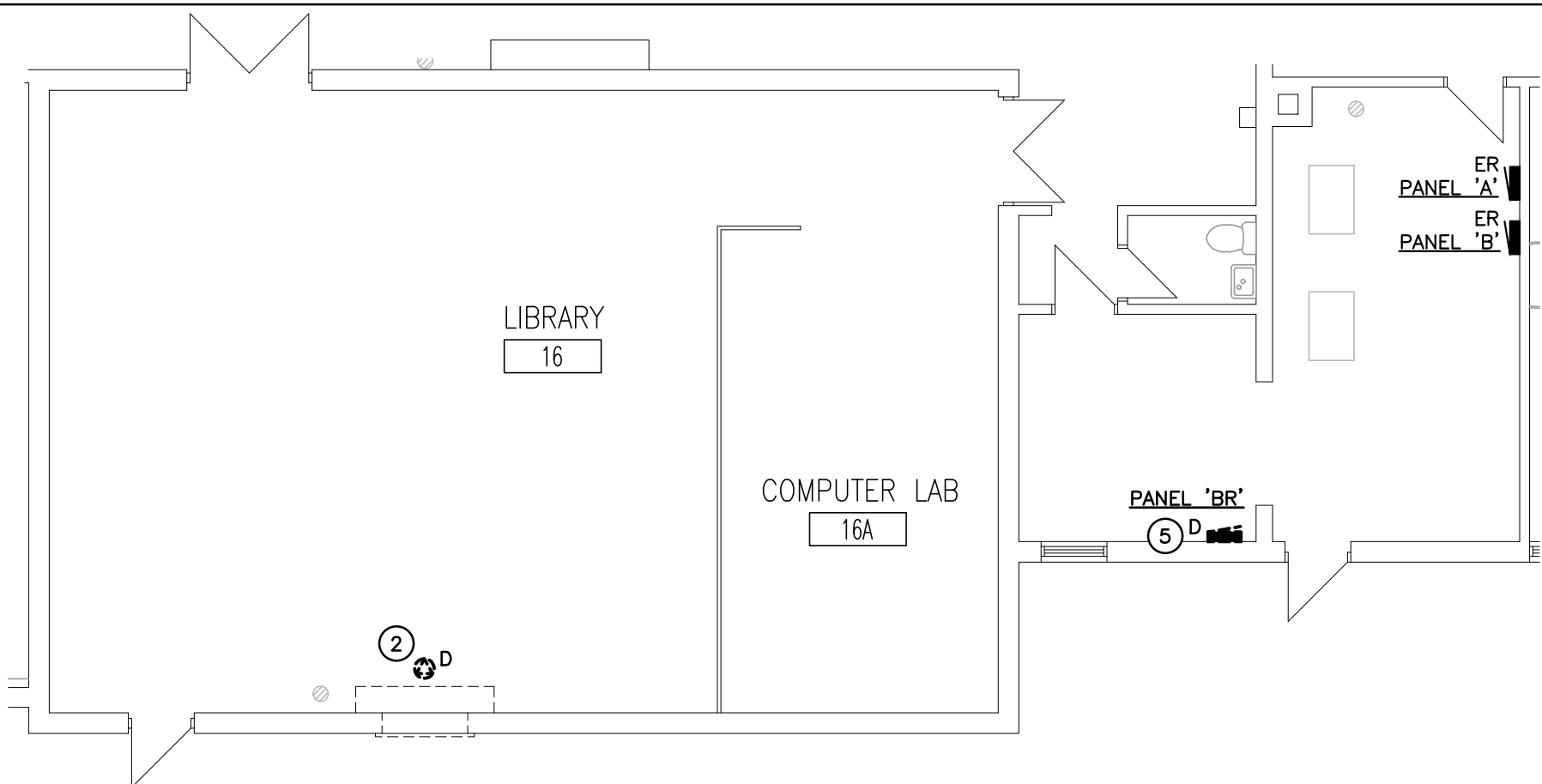
## E102



PARTIAL GROUND FLOOR – LIGHTING DEMOLITION PLAN  
SCALE: 1:100



PARTIAL GROUND FLOOR – POWER & SYSTEMS DEMOLITION PLAN  
SCALE: 1:100



LIBRARY 16 – POWER AND SYSTEMS DEMOLITION PLAN  
SCALE: 1:100

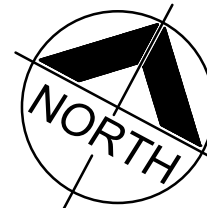
#### GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

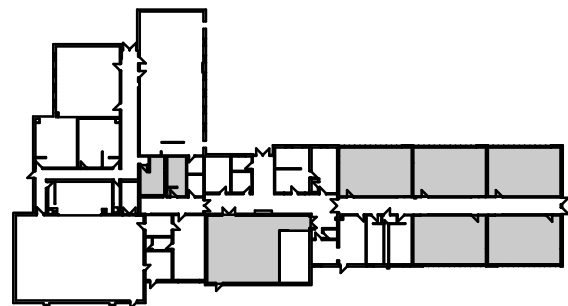
#### SPECIFIC DEMOLITION NOTES

- 1 EXISTING FIXTURES ARE TO BE REMOVED. REWORK EXISTING WIRING AND CIRCUIT FOR RECONNECTION TO NEW. REFER TO RENOVATION PLAN FOR CONTINUATION.
- 2 INDICATES MECHANICAL UNIT IS BEING REPLACED WITH NEW UNIT HAVING THE SAME POWER REQUIREMENTS. DISCONNECT AND RE-CONNECT EXISTING FEEDER.
- 3 MAINTAIN EXISTING CIRCUIT WIRING OF DEMOLISHED DEVICE FOR EXTENSION AND CONNECTION TO NEW DEVICE AS SHOWN ON RENOVATION PLANS.
- 4 MAINTAIN EXISTING DATA CABLING COILED IN CEILING SPACE FOR RE-USE IN RENOVATION PLAN. COORDINATE WITH SCHOOLBOARD IT REPRESENTATIVE FOR RE-USE OF DATA CABLING. ANY UNUSED DATA CABLE DROPS AT END OF RENOVATION WORK TO BE REMOVED COMPLETE BACK TO SOURCE PATCH PANEL.
- 5 INDICATED PANEL IS TO BE PREPARED FOR RETROFIT PANEL KIT. MAINTAIN EXISTING CIRCUITS AND ENCLOSURE FOR INSTALLATION OF NEW PANEL INTERIOR. REFER TO SPECIFICATIONS, PANEL SCHEDULE, AND RENOVATION PLAN FOR ADDITIONAL INFORMATION.

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2	ISSUED FOR TENDER REVIEW	23.02.24	AS
3	ISSUED FOR TENDER	23.02.29	JJ



Key Plan


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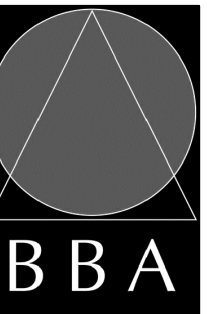
#### PROJECT:

#### WARSAW PUBLIC SCHOOL INTERIOR RENOVATIONS

975 English Line S, Warsaw, ON, K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

#### DRAWING:

#### PARTIAL GROUND FLOOR - DEMOLITION PLANS



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ASSOCIATES

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Engineers  
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AS

DRAWN BY:  
KV/JAG

CHECKED BY:  
JJ

DATE:  
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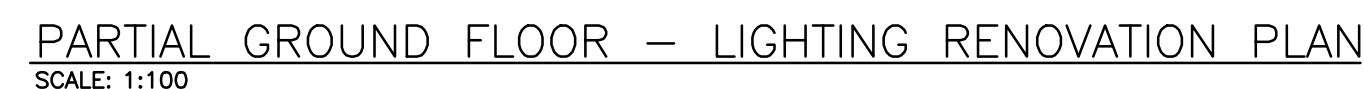
FILE:

PROJECT NO:

24008

DRAWING NO:

E201



- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

### SPECIFIC RENOVATION NOTES

- 1 RE-WORK EXISTING LINE AND LOAD SIDE WIRING THROUGH POWER PACK TO SUIT. REFER TO A/E101. POWER PACK TO BE INSTALLED ABOVE ACCESSIBLE CEILING SPACE IN FINISHED AREAS.
- 2 INDICATES EXISTING REUSED DATA DROP FOR DEVICE NOTED IN RELOCATED POSITION. RE-TERMINATE AND TEST PER SPECIFICATIONS.
- 3 INDICATES LOCATION OF WIRELESS SPEAKER FOR CLASSROOM AUDIO KIT.
- 4 INDICATES DEVICES TO BE INSTALLED AT HIGH LEVEL FOR PROJECTOR TO A MAXIMUM OF 3048mm AFF. CONFIRM EXACT LOCATION AND MOUNTING HEIGHT WITH SCHOOL BOARD REPRESENTATIVE PRIOR TO ROUGH-IN. REFER TO PROJECTION SCREEN LAYOUT DETAIL A/E102.
- 5 INDICATES RECEPTACLE FOR CHARGING TOWER. CONFIRM FINAL LOCATION OF DEVICES WITH SCHOOL BOARD PRIOR TO ROUGH-IN.
- 6 INDICATED DEVICES TO BE MOUNTED IN MILLWORK PANEL. REFER TO MILLWORK CONSOLE DEVICE MOUNTING DETAIL B/E102.
- 7 INDICATES NEW MECHANICAL UNIT HAVING THE SAME POWER REQUIREMENTS AS PREVIOUS UNIT. DISCONNECT AND RE-CONNECT EXISTING FEEDER.
- 8 INDICATED RECEPTACLE IS TO BE MOUNTED HORIZONTALLY BELOW REPLACEMENT RADIATORS AND FED WITH WIREMOLD V700 SERIES SURFACE RACEWAY AND SURFACE BOXES. RECEPTACLES ARE TO BE CONNECTED TO EXISTING BRANCH RECEPTACLE CIRCUIT WITHIN CLASSROOM. COORDINATE MOUNTING WITH ARCHITECTURAL INTERIOR ELEVATIONS PRIOR TO ROUGH-IN.
- 9 PROVIDE REPLACEMENT PANEL RETROFIT KIT FOR PANEL 'BR' AS PER SPECIFICATIONS. MAINTAIN EXISTING CIRCUITS CONNECTED TO PANEL FOR RECONNECTION TO RETROFITTED PANEL. ELECTRICAL TRADE TO PROVIDE EXACT TRIM MEASUREMENTS FROM EXISTING PANEL 'BR' TO RETROFIT KIT MANUFACTURER AS PART OF REPLACEMENT PROCESS. INDICATE ON SHOP DRAWINGS.

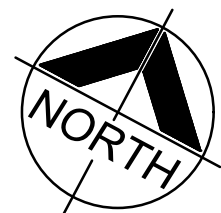
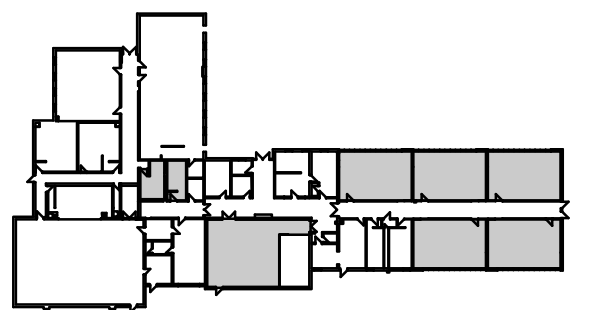
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### Key Plan

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NO.	REVISIONS	DATE	BY
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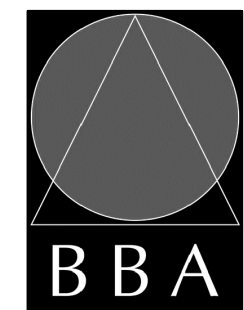
PROJECT:

**WARSAW PUBLIC SCHOOL  
INTERIOR RENOVATIONS**

975 English Line S, Warsaw, ON, K0L 3A0  
KPRDSB - WARSAW PUBLIC SCHOOL

**DRAWING:**

## PARTIAL GROUND FLOOR - RENOVATION PLANS



**BARRY BRYAN  
ASSOCIATES**

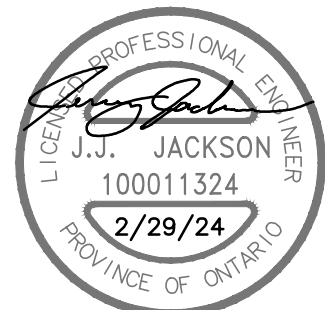
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PROJECT NO:

24008



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**F301**